



Department of Administrative Services

Purchasing and Contracts

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Sabra Smith Newby, Chief Administrative Officer
Adleen B. Stidhum, Purchasing Manager



CLARK COUNTY, NEVADA BID NO. 603736-15 HOLLYWOOD REGIONAL PARK: RESTROOM & CONCESSION BUILDING

August 26, 2015

ADDENDUM NO. 3

INVITATION TO BID

1. The bid opening date of August 27, 2015 at 2:15:00 p.m. **remains unchanged.**

QUESTIONS AND RESPONSES

1. **QUESTION:** Section 01 35 53 3.01 Entry Control indicates the owner is requesting a uniformed guard service to watch the site during non-work hours for the duration of the project. Can you please confirm that this requirement is valid and the contractor needs to hire a security guard? This project will not have any assets that need to be protected.

RESPONSE: Section 01 35 53 3.01 entry control indicates the Owner is requesting a uniformed guard service to watch the site during non-work hours for the duration of the project: Change to read as follows: "Employ a uniform guard service to provide watchmen at site during non-work hours for the duration of the project As Needed". This is not a mandatory service; contractor is responsible for site security at no charge for owner on loosing materials.

2. **QUESTION:** Drawing A1.0 shows a picture supplied by the county indicating red lines labeled as "EL" and "UNK". We assume "EL" means electrical and "UNK" means unknown. Is the contractor to assume that the lines on the drawings are existing and will need to be removed if they are non-functional? Or, will the lines need to be rerouted?

Please advise how you would like this scope be proposed in the cost proposal. Or, confirm the costs will be included in the \$60,000.00 contingency line item.

RESPONSE: EL = Electrical, UNK = Unknown. The conduits (lines) are existing – relocate as necessary as not to disrupt services. The cost will be charged against construction Conflict (\$60,000.00) by approved Change Order.

3. **QUESTION:** According to the plans, it appears the existing water lines are in the footprint of the building. However, the plans do not indicate the lines need to be rerouted. Please clarify.

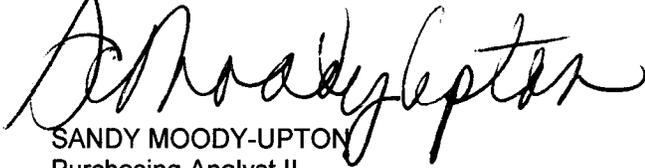
RESPONSE: Replace originally issued Sheet C2.02 Utility Plan/Civil Improvement Plan with the attached Sheet C2.02 Utility Plan / Civil Improvement Plans for the Scope of Work as it pertains to point of connection. Plan revised date 8/25/2015 (small print on bottom left corner of sheet).

4. **QUESTION:** Please confirm whether or not all of the interior walls of the concession area and the restrooms are to be painted?

RESPONSE: All interior walls are to be painted and all exterior walls are to be sealed with anti-graffiti coatings per specifications.

Except as modified herein all other bid specifications, terms and conditions and special conditions shall remain the same.

ISSUED BY:

A handwritten signature in black ink, appearing to read "Sandy Moody-Upton", written in a cursive style.

SANDY MOODY-UPTON
Purchasing Analyst II

Attachments: Sheet C2.02 Utility Plan/Civil Improvement Plan

Cc: Chuck James, Real Property Management
Brian Connolly, Real Property Management
Sam Botros, Real Property Management
Ken Ballard, ken@srutar.com

