

GENERAL NOTES

1. THE DATA INDICATED ON THE DRAWINGS AND IN THESE SPECIFICATIONS ARE AS EXACT AS COULD BE SECURED, BUT THEIR ABSOLUTE ACCURACY IS NOT GUARANTEED. EXACT LOCATIONS, DISTANCES, LEVELS, AND OTHER CONDITIONS WILL BE GOVERNED BY THE BUILDING. USE THE DRAWINGS AND SPECIFICATIONS FOR GUIDANCE, AND SECURE THE OWNER'S APPROVAL OF ALL CHANGES IN ADVANCE.
2. ALL WORK, MATERIALS, METHODS, ETC. SHALL CONFORM TO APPLICABLE CODES OR ORDINANCES.
3. THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY ALL EXISTING CONDITIONS BEFORE COMMENCING WORK, ANY DISCREPANCIES SHALL BE REPORTED TO THE BUILDING OWNER AND/OR ARCHITECT.
4. CONTRACTOR OR SUB-CRONTACTOR COVERING ANY OR ALL TRADES SHALL NOTIFY BUILDING OWNER OF ANY CONFLICT BETWEEN CONTRACT DOCUMENTS AND SCOPE OF WORK PRIOR TO COMMENCING WORK.
5. NO DEVIATIONS FROM CONTRACT DRAWINGS OR SPECIFICATIONS SHALL BE MADE WITHOUT WRITTEN APPROVAL FROM ARCHITECT.
6. MATERIALS TO BE USED SHALL BE OF FIRST QUALITY.
7. ALL WORK SHALL BE PERFORMED BY SKILLED MECHANICS IN A WORKMAN LIKE MANNER.
8. CLEAN, PATCH AND REPAIR ALL SURFACES DAMAGED BY DEMOLITION OR ALTERATION OF WORK AS REQ., INCLUDING EXISTING FIRE RATED ASSEMBLIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING ITEMS THAT WILL NOT BE PART OF WORK.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING AND PROVIDING ALL BLDG. MATERIALS AND FINISHES NOT SPECIFICALLY ADDRESSED IN PLANS.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIALS OR RUBBISH AND FOR REMOVAL OF ALL DEBRIS FROM THE BUILDING PREMISES, BLDG. RECEPTACLES ARE NOT TO BE USED FOR CONSTRUCTION DEBRIS.
11. THE CONTRACTOR SHALL PICK UP AND PAY FOR ANY PERMITS NOT PROVIDED BY THE BUILDING OWNER.
12. CONTRACTOR TO LOCATE SPRINKLER HEAD IN CENTER OF CEILING TILE WHERE POSSIBLE (TYPICAL).
13. THE FINISHES AND FIXTURES CONTAINED IN THIS DOCUMENT MIGHT BE ON AN EXTENDED LEAD TIME AND MAY REQUIRE SPECIAL COORDINATION AND ADVANCED ORDERING. SUBSTITUTIONS WILL NOT BE ALLOWED FOR MATERIALS NOT ORDERED IN A TIMELY FASHION.
14. WHERE THE CONDITION OCCURS PROVIDE THE FOLLOWING ITEMS IN ADDITION TO THE ITEMS LISTED IN THE TYPICAL WALL TYPES.
 - A. PROVIDE ADDITIONAL FURRING (ENTIRE LENGTH OF WALL) TO FULLY CONCEAL ALL MECHANICAL, ELECTRICAL, PLUMBING AND STRUCTURAL ITEMS THAT PROTRUDE FROM THE FACE OF WALLS.
 - B. PREPARE NEW AND EXISTING WALLS AS RECOMMENDED BY FINISHES MANUFACTURER TO RECEIVE SPECIFIED FINISHES. REFER TO DRAWINGS FOR FINISHES.
15. PROVIDE SUBMITTALS FOR FINISHES, CASEWORK, AND SPECIALTY ITEMS.
16. ALL DIMENSIONS ARE TO FACE OF STEEL STUDS OR CENTERLINE OF DOORS AND WINDOWS UNLESS NOTED OTHERWISE
17. ALL UNDIMENSIONED DOORS SHALL BE OFFSET 6" FROM ADJ. WALL TO OPENING UNLESS NOTED OTHERWISE
18. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SCHEDULING AND COORDINATING THE DELIVERY, INSTALLATION AND STORAGE OF THOSE ITEMS BEING INSTALLED BY TENANT OR HIS AFFILIATES (I.E. FURNITURE, SECURITY SYSTEMS, AND ETC.)
19. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SCHEDULING AND COORDINATING THE VARIOUS TRADES AND THEIR WORK AS IT RELATES TO OTHER TRADES (I.E. MECH. AND ELEC., MECH. AND FIRE SPRINKLER SYSTEMS, AND ETC.)
20. THE CONTRACTORS SHALL CHECK AND VERIFY ALL DIMENSIONS PRIOR TO COMMENCING CONSTRUCTION. ALL ERRORS AND OMISSIONS SHALL BE NOTED AND SENT TO THE ARCHITECT WITH ADEQUATE TIME TO REVIEW PRIOR TO STARTING THAT PORTION OF WORK IN ORDER TO AVOID PROJECT DELAYS.
21. DO NOT SCALE THESE DRAWINGS.
22. THE CONTRACTOR SHALL PREPARE SPRINKLER DESIGN DRAWINGS AND SUBMIT AS REQUIRED TO THE LOCAL AGENCIES HAVING JURISDICTION PRIOR TO INSTALLATION.
23. FOR ADDITIONAL ACCESSIBILITY GUIDELINES REFER TO IBC CHAPTER 11 AND ADA ACCESSIBILITY GUIDELINES FOR BUILDING AND FACILITIES (ADAG).
24. PROVIDE PORTABLE FIRE EXTINGUISHER AS REQ. BY THE FIRE DEPARTMENT'S FIELD INSPECTOR.
25. ALL REQUEST FOR INFORMATION (RFI) PROMPTED BY THE BUILDING OFFICIALS SHALL INCLUDE A COPY OF THE BUILDING OFFICIALS COMMENTS and/or INSPECTORS FIELD REPORT TO ENSURE ACCURATE AND TIMELY RESPONSE.

SCOPE OF WORK

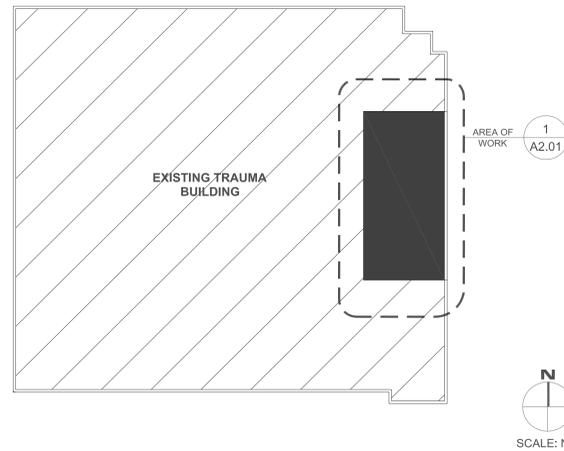
SCOPE OF WORK INCLUDES THE REMODEL OF EXISTING LOBBY. REMODEL TO INCLUDE THE DEMOLITION OF EXISTING INTERIOR PARTITIONS AND DOORS, CONSTRUCTION OF NEW WALLS INSIDE EXISTING LOBBY AND NEW TILE FLOORING. TOTAL AREA INCLUDED IN THE SCOPE OF WORK IS 1,925 SQ.FT.

OCCUPANT CLASSIFICATION AND LOAD WILL REMAIN UNCHANGED. TOTAL SQUARE FOOTAGE OF SPACE WILL NOT BE EFFECTED, REFER TO CODE ANALYSIS BELOW.

OWNER / CONSULTANTS

OWNER	MECHANICAL /ELECTRICAL/PLUMBING
UMC 800 ROSE ST. LAS VEGAS, NEVADA 89106	HARRIS CONSULTING ENGINEERS 6630 SURREY STREET, SUITE 100 LAS VEGAS, NEVADA 89119
ARCHITECT	
ED VANCE AND ASSOCIATES 900 S. PAVILION CENTER DRIVE, SUITE 180 LAS VEGAS, NEVADA 89144	

OVERALL FLOOR PLAN



TENANT IMPROVEMENT PACKAGE FOR:

UMC TRAUMA REMODEL

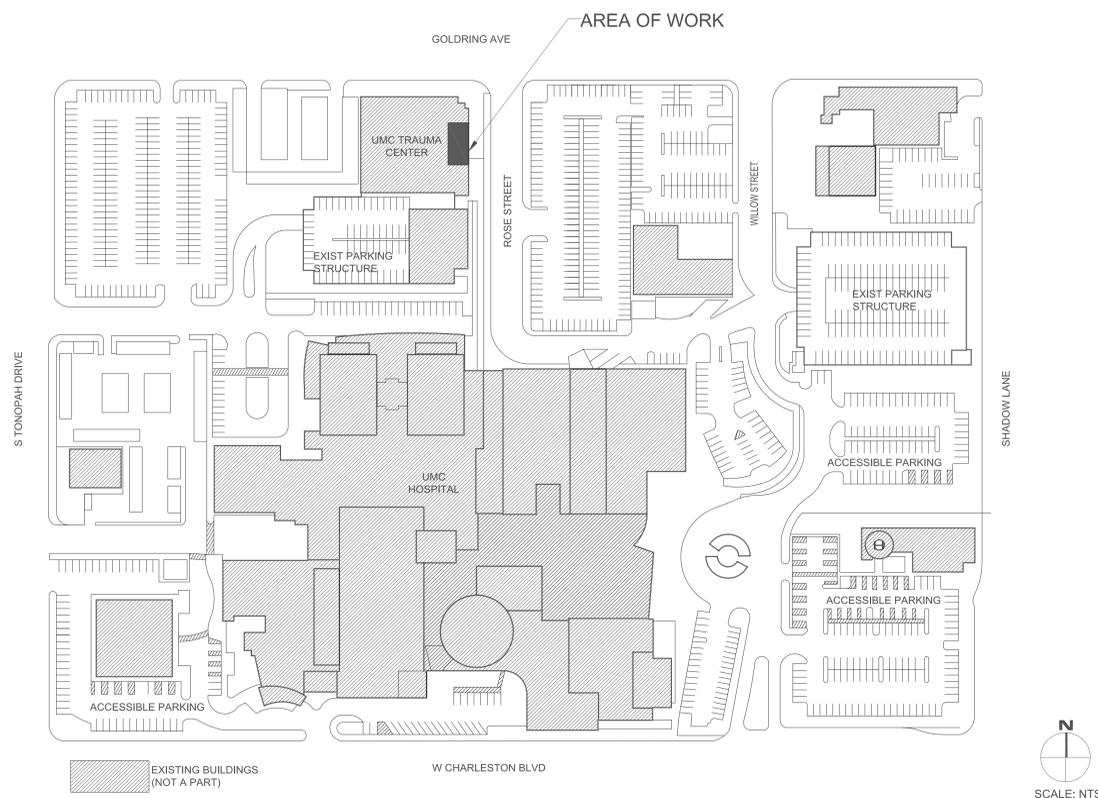
**800 ROSE ST.
LAS VEGAS, NEVADA 89106**



ED VANCE AND ASSOCIATES
900 S. PAVILION CENTER DRIVE, SUITE 180
LAS VEGAS, NEVADA 89144
P. 702.946.8195 F. 702.946.8196
www.edvanceassociates.com

APRIL 23, 2015
EV & A PROJECT NUMBER: 2014137

SITE PLAN - FOR REFERENCE ONLY



CODE ANALYSIS

PROJECT DESCRIPTION:
LEVEL 1 LOBBY REMODEL FOR EXISTING UMC TRAUMA CENTER BUILDING. EXISTING OCCUPANCY TYPE, OCCUPANT LOAD AND SQUARE FOOTAGE WILL REMAIN UNCHANGED. REMODEL WILL OCCUR IN EXISTING BUILDING LOBBY AND WALKWAY ADDITION, REFER TO FLOOR PLAN FOR AREA OF WORK.

BUILDING:

BASIS OF ANALYSIS:	1988 UBC
OCCUPANCY CLASSIFICATION:	TYPE I-1 (BUILDING LEVELS 1 AND 2) TYPE B-2 (BUILDING LEVELS 3, 4 AND 5) TYPE B-3 (PARKING GARAGE AND HELISTOP)
CONSTRUCTION TYPE :	TYPE I (BUILDING) TYPE II-N (PARKING GARAGE AND HELISTOP)
FIRE SPRINKLERS:	YES
FIRE ALARM:	YES
ALLOWABLE AREA:	B-2, TYPE I: UNLIMITED (TABLE 5-C) I-1, TYPE I: UNLIMITED (TABLE 5-C) B-3, TYPE II-N: 30,000 PER TIER (TABLE 7A)
ACTUAL AREA:	B-2, TYPE I: 54,000 SF I-1, TYPE I: 36,300 SF B-3, TYPE II-N: 27,200 SF

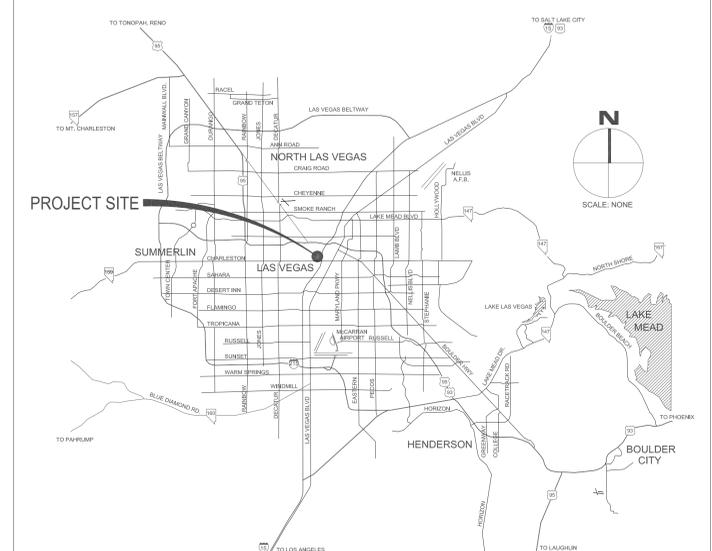
WALKWAY:

BASIS OF ANALYSIS:	1991 UBC
OCCUPANCY CLASSIFICATION:	TYPE B-2 (TABLE 5-A)
CONSTRUCTION TYPE :	TYPE II-N (TABLE 5-C)
FIRE SPRINKLERS:	YES
FIRE ALARM:	YES
ALLOWABLE AREA:	12,000 SF (TABLE 5-C)
ACTUAL AREA:	2,600 SF

SHEET INDEX

ARCHITECTURAL	MECHANICAL
A0.00 COVER SHEET	M0.01 MECHANICAL LEGEND, ABBREVIATIONS & SHEET INDEX
A2.01 FLOOR PLAN	M0.02 MECHANICAL SPECIFICATIONS
A2.02 FINISH PLAN	M1.01 MECHANICAL DEMOLITION PLAN
A2.02a FINISH PLAN WITH COLOR PRICING INFO	M2.01 MECHANICAL HVAC & ZONING PLAN
A3.01 REFLECTED CEILING PLAN	
ELECTRICAL	ELECTRICAL LEGEND, ABBREVIATIONS & SHEET INDEX
E0.01 ELECTRICAL SPECIFICATIONS	E1.01 ELECTRICAL DEMOLITION LIGHTING PLAN
E1.02 ELECTRICAL DEMOLITION POWER PLAN	E2.01 ELECTRICAL LIGHTING PLAN
E2.01 ELECTRICAL LIGHTING PLAN	E3.01 ELECTRICAL POWER PLAN
E3.01 ELECTRICAL POWER PLAN	E6.01 ELECTRICAL SCHEDULES

VICINITY MAP



GENERAL NOTES

- ALL WORK SHALL CONFORM WITH ALL THE PROVISIONS OF THE 2012 INTERNATIONAL BUILDING CODE AND ALL APPLICABLE CODE ORDINANCES HAVING JURISDICTION.
- DO NOT SCALE DRAWINGS. ALL DIMENSIONS SHOWN ON PLANS ARE TO THE FACE OF STUD, CMU OR CONCRETE OR CENTER OF GRID LINE UNLESS NOTED OTHERWISE.
- CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND STRUCTURE LOCATIONS. EXISTING INFORMATION GIVEN IS BASED ON AVAILABLE DRAWINGS AND MAY NOT NECESSARILY REPRESENT THE ACTUAL AS BUILT CONDITIONS.
- CONTRACTOR TO CLEAN, PATCH AND REPAIR ALL SURFACES DAMAGED BY DEMOLITION OR ALTERATION OF WORK AS REQ'D.
- CONTRACTOR TO VERIFY ALL FINISHES WITH OWNER
- ALL NEW WORK TO BE SEAMLESS w/ ADJACENT EXISTING FINISHES AND CONSTRUCTION, FINISHED TO A "LIKE NEW" CONDITION.
- DOOR AND FRAMES TO MATCH BUILDING STANDARD. RE-USE DOORS FROM DEMOLITION WHEREVER POSSIBLE.
- INFECTION CONTROLS ARE REQUIRED. PROVIDE HEPA FILTER MACHINES AND 8 MIL VISQUEEN TAPED TO THE CEILING AND FLOOR AT DEMO AND CONSTRUCTION AREAS

WALL LEGEND

-  DEMO WALL
-  EXISTING WALL
-  NEW WALL, SEE "2/A2.01"

KEYNOTES

- IN FILL EXISTING WINDOW WITH NEW 5/8" DRYWALL. TEXTURE TO MATCH EXISTING WALL
- PROPOSED LOCATION OF FLAT SCREEN TV. CONTRACTOR TO PROVIDE ADDITIONAL PLYWOOD BACKING IN WALL. VERIFY EXACT LOCATION ON WALL AND HEIGHT A.F.F. PRIOR TO INSTALLATION
- EXISTING DESK TO REMAIN
- PROPOSED LOCATION OF NEW FREE-STANDING DIRECTORY
- EXISTING SURVIVOR WALL TO REMAIN

DOOR SCHEDULE

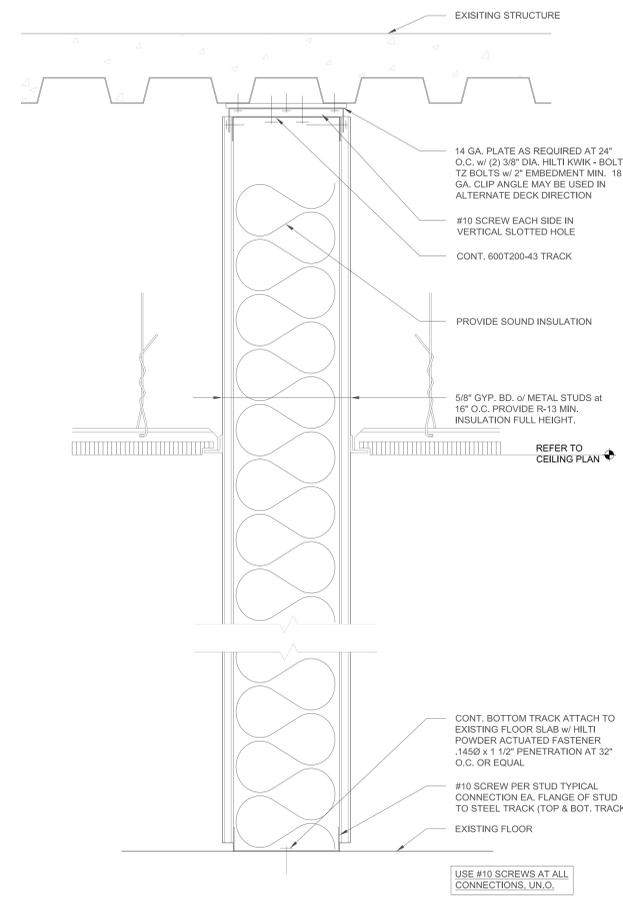
- A** INSTALL NEW 3'-0" W STEELCRAFT DOOR FROM OWNER'S ATTIC STOCK AND PROVIDE DOOR HANDLE (SCHLAGE LARGE FORMAT INTERCHANGEABLE CORE, CYLINDRICAL LOCKSETS, ND SERIES PREPPED FOR LARGE FORMAT INTERCHANGEABLE CORE, RHODES LEVER 626 FINISH.) DOOR TO BE PAINTED TO MATCH WALL.
- B** EXISTING DOOR AND FRAME TO BE REMOVED. SALVAGE FOR OWNER'S ATTIC STOCK.
- E** EXISTING DOOR AND FRAME TO REMAIN - UNDERCUT AS REQUIRED TO ACCOMMODATE CLEARANCE FOR NEW TILE FLOORING.

ELECTRICAL LEGEND

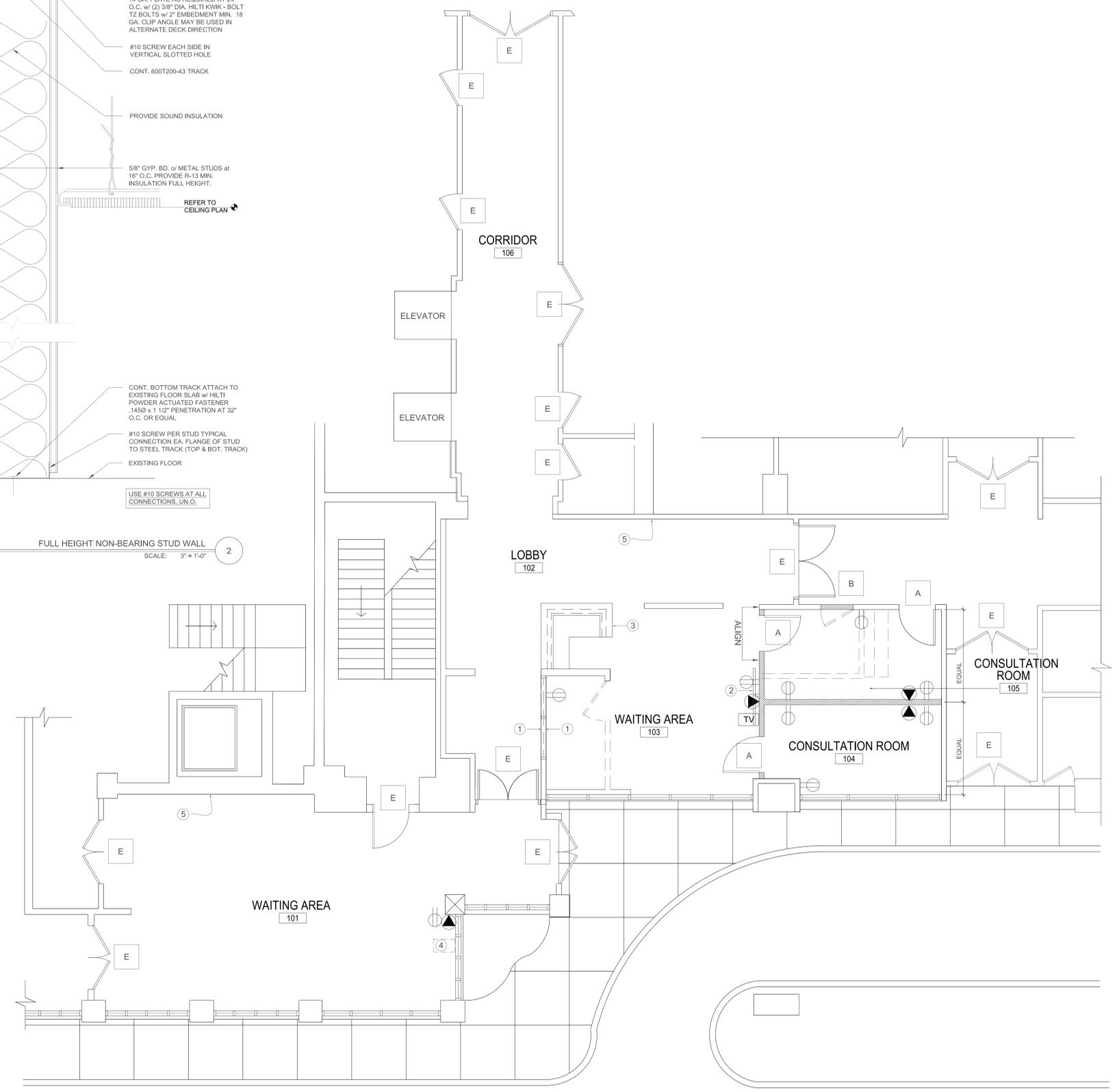
-  DUPLEX OUTLET
-  COMBINATION TELE. / DATA OUTLET.
-  CABLE TV CONNECTION

NOTE

REFER TO ENGINEERING FOR ADDITIONAL INFORMATION



FULL HEIGHT NON-BEARING STUD WALL
SCALE: 3" = 1'-0"



FLOOR PLAN
1/4" = 1'-0"



