

RESIDENTIAL ROOM ADDITION TYPICAL PLOT PLAN

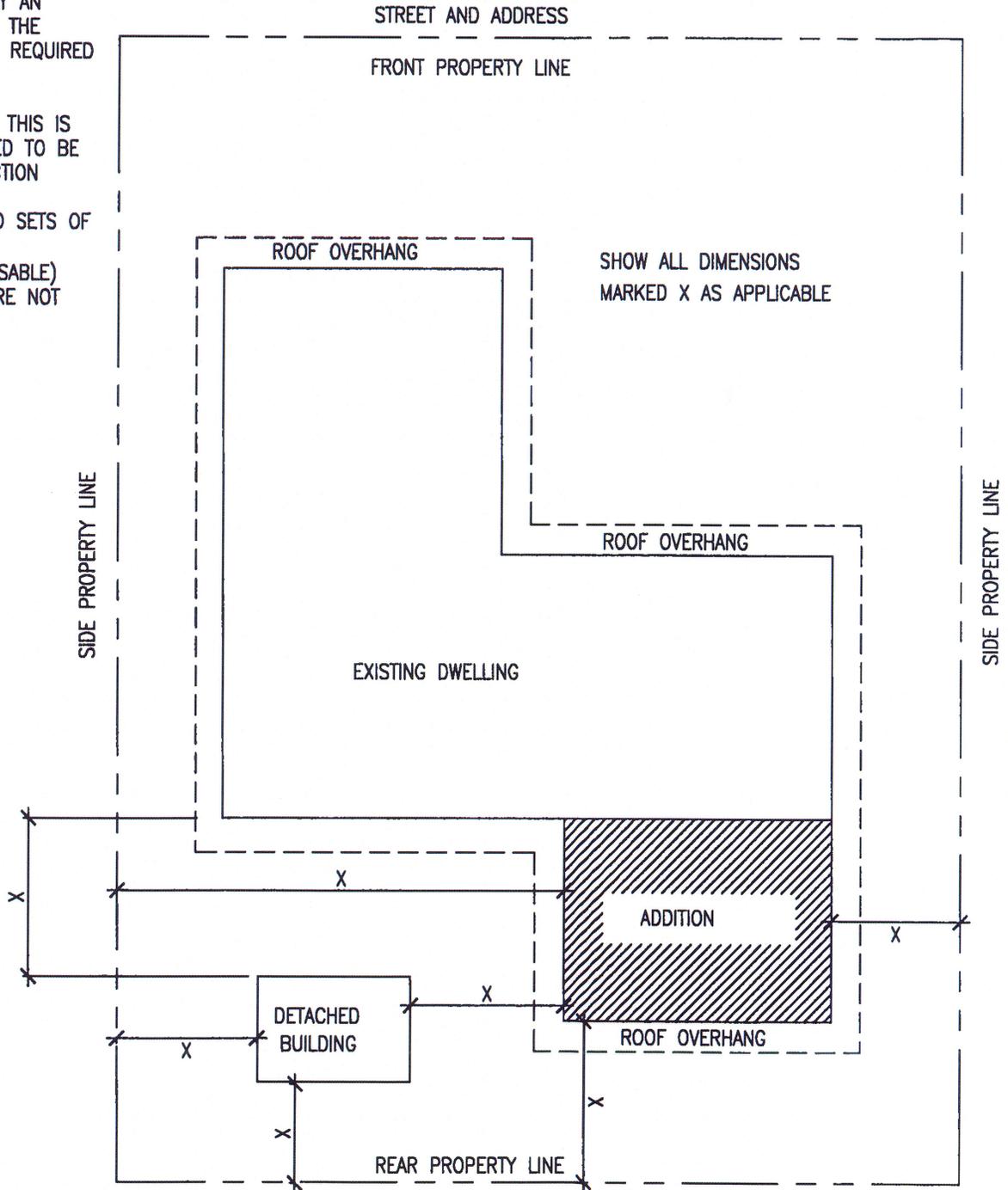
**Clark County**  
Dept. of Building & Fire Prevention  
4701 W Russell Rd  
Las Vegas, NV 89118  
(702) 455-3000

**Boulder City**  
Building Department  
401 California Avenue  
Boulder City, NV 89005  
(702) 293-9282

**Henderson**  
Bldg & Fire Safety Dept.  
240 Water Street  
Henderson, NV 89015  
(702) 267-3650

**Las Vegas**  
Building & Safety Dept.  
333 N. Rancho Drive  
Las Vegas, NV 89106  
(702) 229-6251

- THIS IS ONLY AN EXAMPLE OF THE INFORMATION REQUIRED ON PERMIT APPLICATION DOCUMENTS. THIS IS NOT INTENDED TO BE A CONSTRUCTION DOCUMENT.
- PROVIDE TWO SETS OF PLANS
- PENCIL (ERASABLE) DRAWINGS ARE NOT ACCEPTABLE



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**Pahrump**  
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RESIDENTIAL ROOM ADDITION TYPICAL FLOOR PLAN

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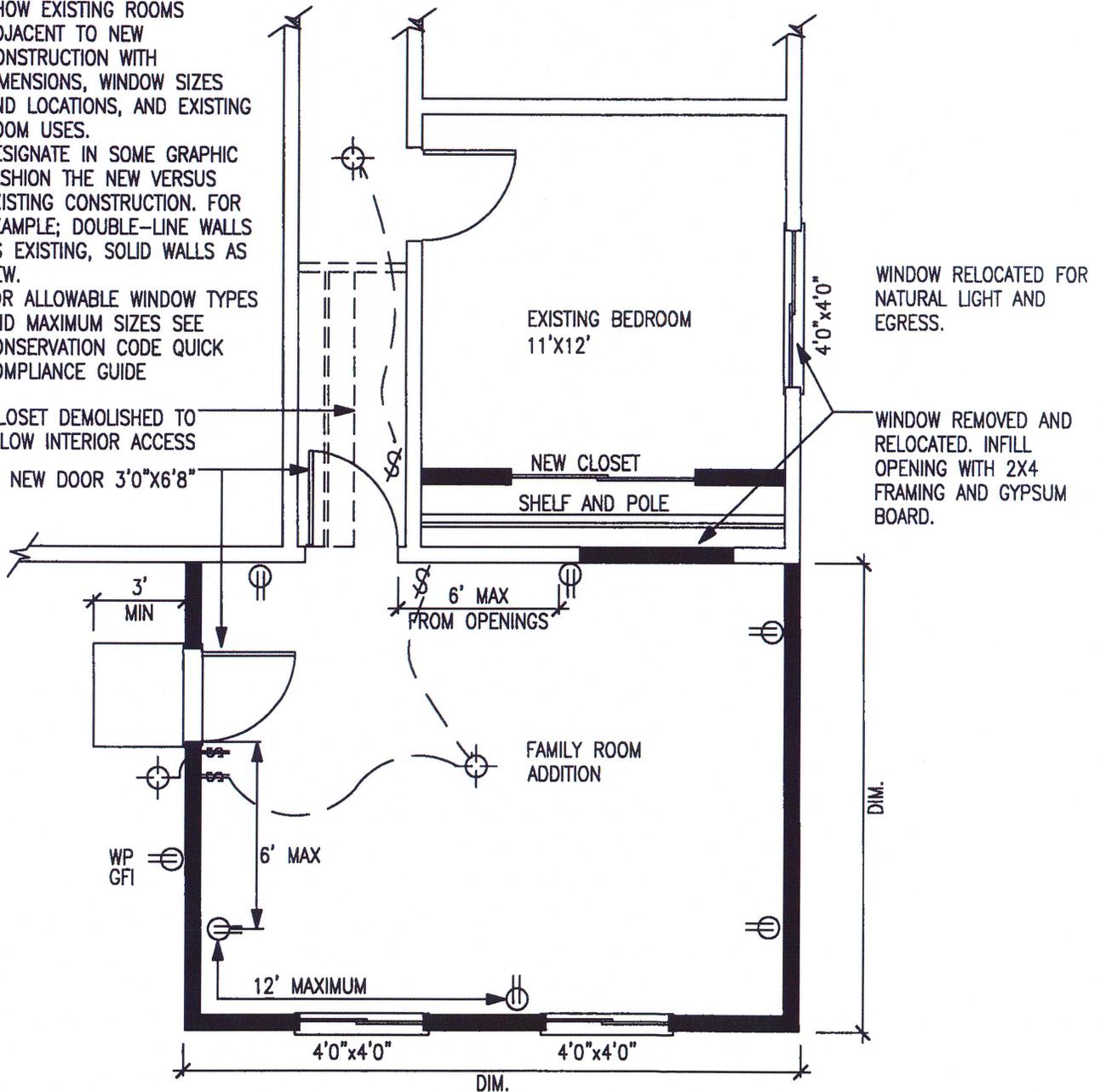
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- SHOW EXISTING ROOMS ADJACENT TO NEW CONSTRUCTION WITH DIMENSIONS, WINDOW SIZES AND LOCATIONS, AND EXISTING ROOM USES.
- DESIGNATE IN SOME GRAPHIC FASHION THE NEW VERSUS EXISTING CONSTRUCTION. FOR EXAMPLE; DOUBLE-LINE WALLS AS EXISTING, SOLID WALLS AS NEW.
- FOR ALLOWABLE WINDOW TYPES AND MAXIMUM SIZES SEE CONSERVATION CODE QUICK COMPLIANCE GUIDE

CLOSET DEMOLISHED TO ALLOW INTERIOR ACCESS

NEW DOOR 3'0"x6'8"



- PROVIDE 8% OF THE FLOOR AREA IN GLAZED OPENINGS (WINDOWS, GLASS DOORS, SKYLITES) IN ALL HABITABLE ROOMS. RELOCATE EXISTING REQUIRED GLAZING THAT IS REMOVED FOR REMODEL OR ADDITION. IN LIEU OF NATURAL LIGHTING ARTIFICIAL LIGHTING MAY BE PROVIDED CAPABLE OF PRODUCING 6 FOOT-CANDLES 30" ABOVE THE FLOOR
- GROUND FAULT CIRCUIT INTERRUPTERS ARE REQUIRED FOR KITCHENS, BATHROOMS, GARAGES, AND EXTERIOR OUTLETS.
- ARC-FAULT INTERRUPTERS ARE REQ. FOR ALL BEDROOMS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, OR SIMILAR ROOMS OR AREAS, INCLUDING ALTERATIONS TO EXISTING BRANCH CIRCUIT WIRING.

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SOUTHERN NEVADA BUILDING OFFICIALS  
REGIONAL STANDARDS

B-114-3

7-7-14

PG. 3 OF 6

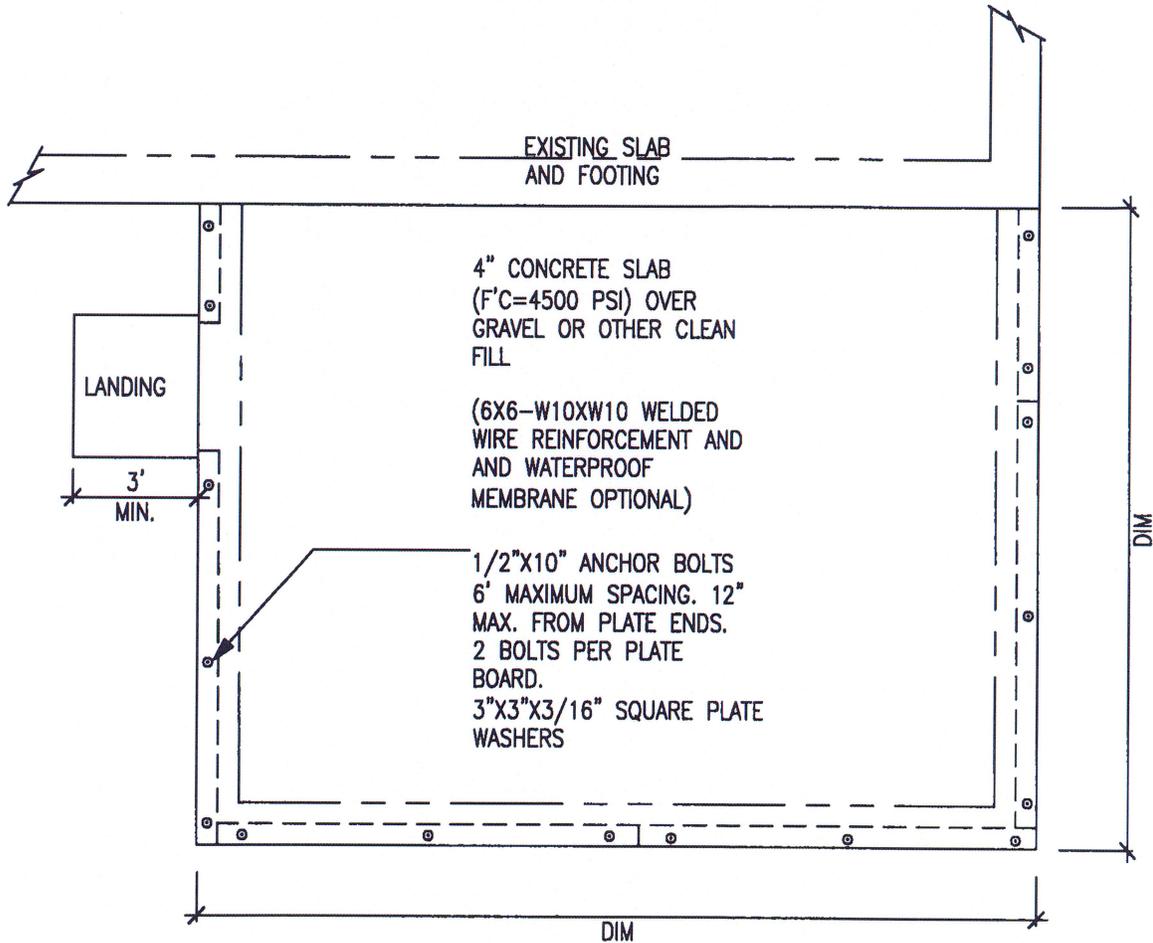
RESIDENTIAL ROOM ADDITION TYPICAL FOUNDATION PLAN

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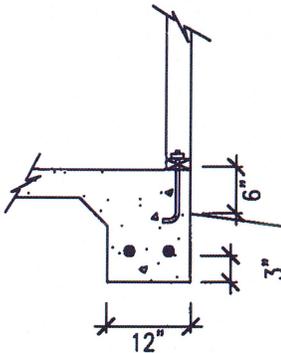
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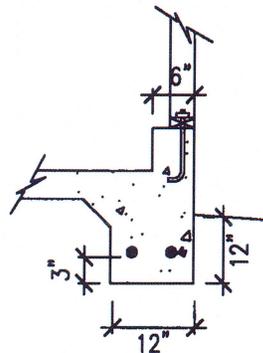


TYPICAL FOOTING CROSS SECTIONS

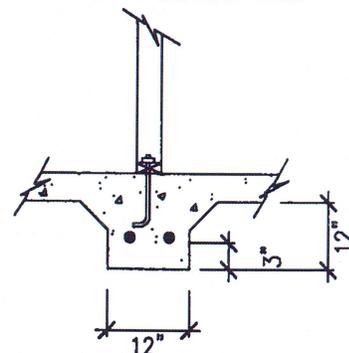
EXTERIOR BEARING WALL



GARAGE RAISED CURB



INTERIOR BEARING WALL



FOOTINGS REQUIRE 2 #4 REINFORCEMENT BARS LOCATED A MINIMUM OF 3" CLEAR FROM THE BOTTOM OF THE FOOTING.

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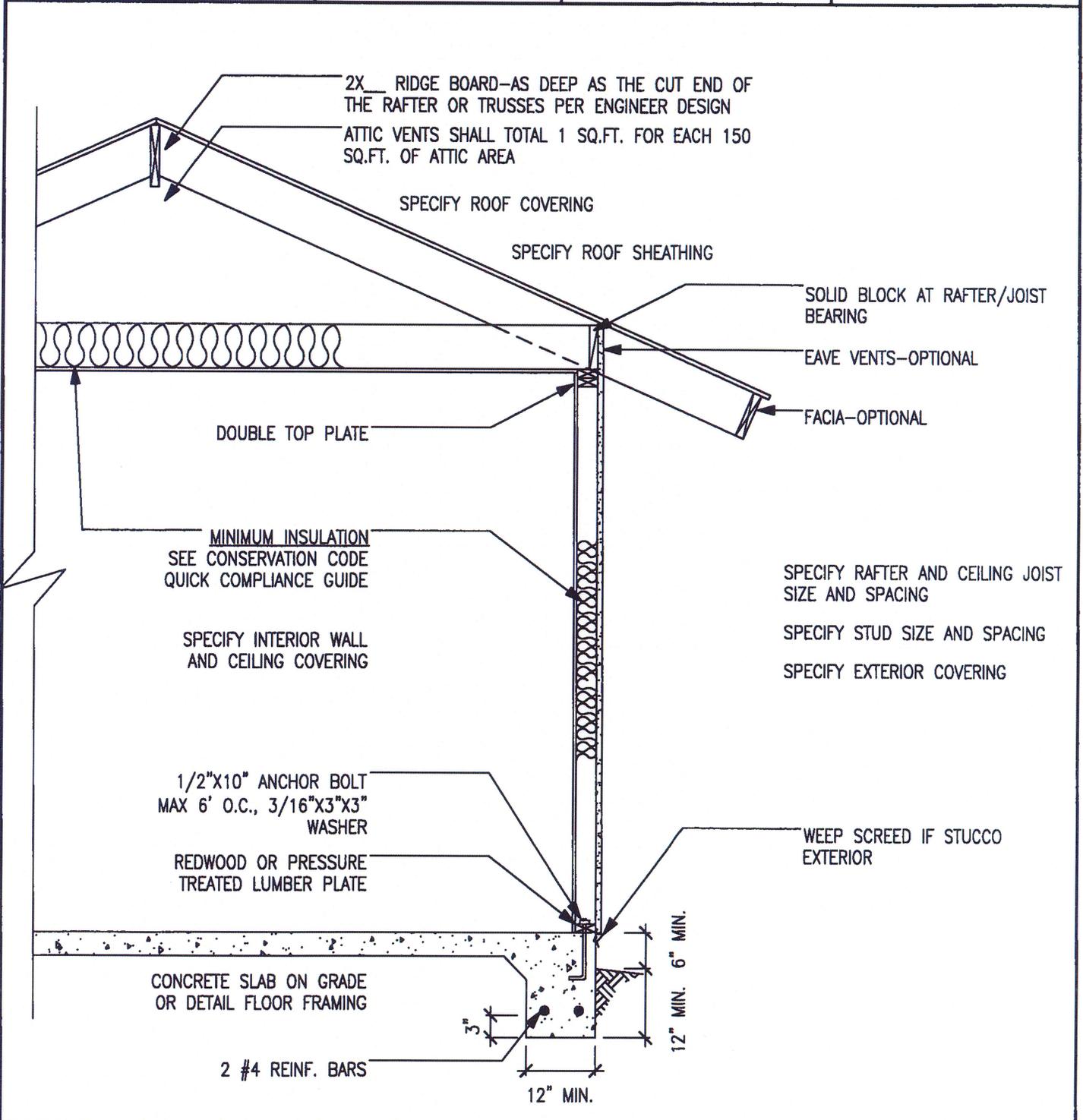
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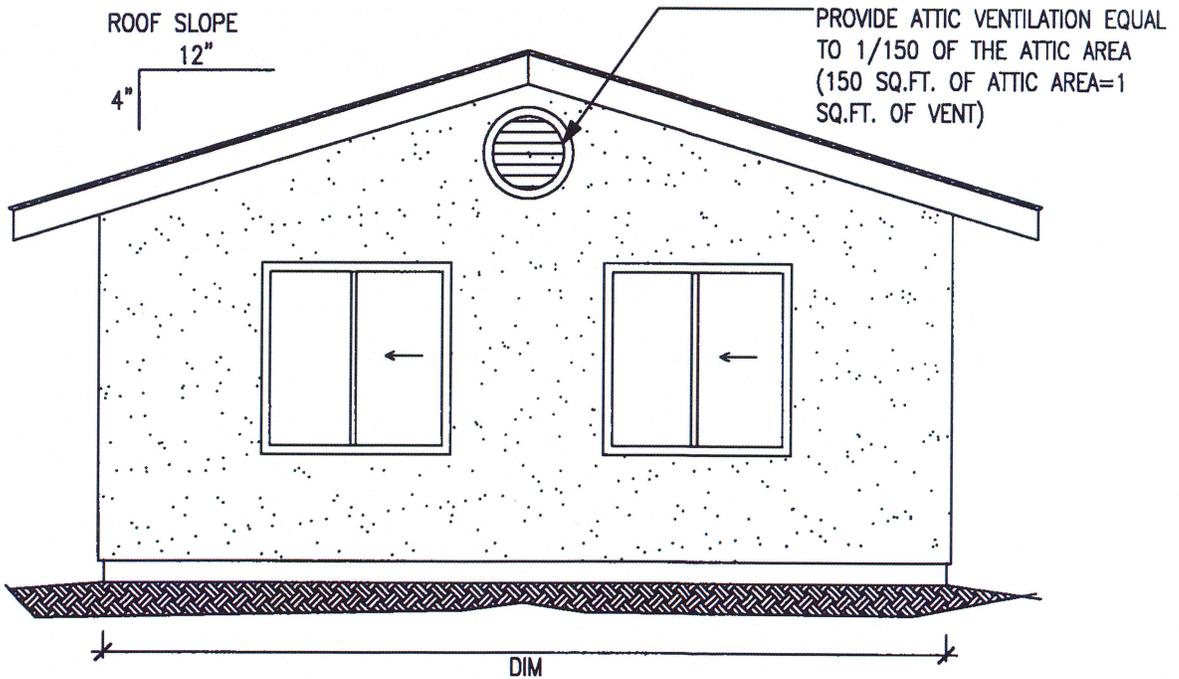
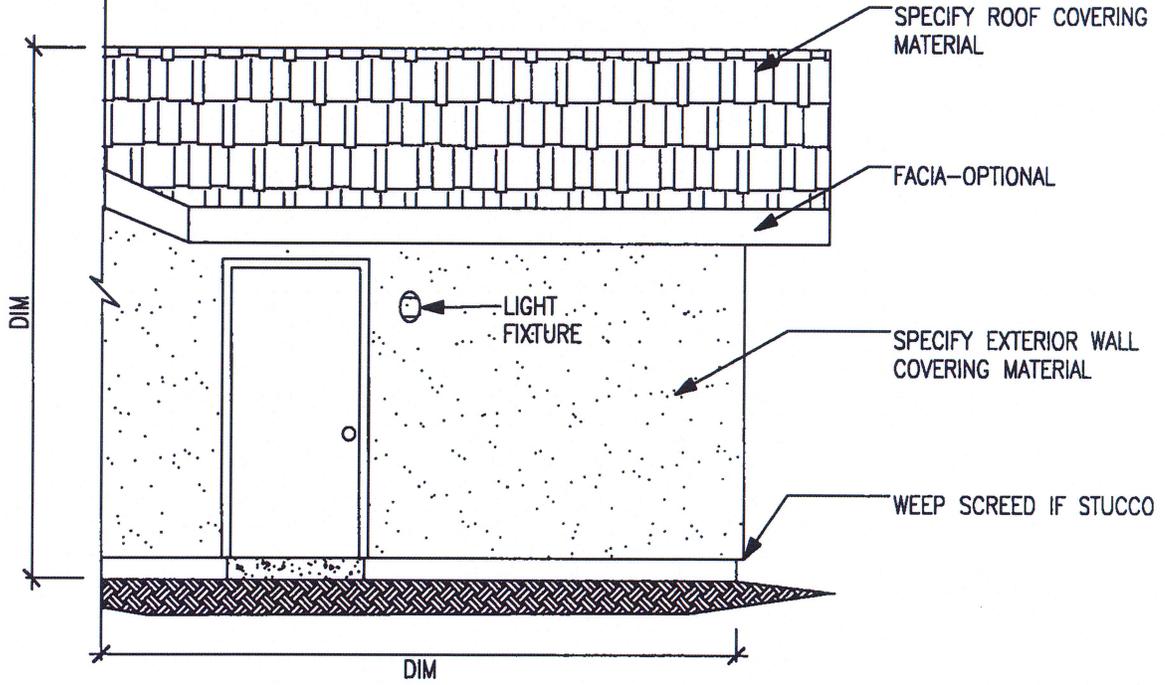
RESIDENTIAL ROOM ADDITION TYPICAL ELEVATIONS

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