



**MOAPA TOWN ADVISORY BOARD**  
**Marley P. Robinson Justice Court & Community Center**  
**1340 E. Highway 168**  
**Moapa, Nv. 89025**  
May 13, 2025  
7:00pm

**AGENDA**

**Note:**

- Items on the agenda may be taken out of order.
- The Board/Council may combine two (2) or more agenda items for consideration.
- The Board/Council may remove an item from the agenda or delay discussion relating to an item at any time.
- No action may be taken on any matter not listed on the posted agenda.
- All planning and zoning matters heard at this meeting are forwarded to the Board of County Commissioners' Zoning Commission (BCC) or the Clark County Planning Commission (PC) for final action.
- Please turn off or mute all cell phones and other electronic devices.
- Please take all private conversations outside the room.
- With a forty-eight (48) hour advance request, a sign language interpreter or other reasonable efforts to assist and accommodate persons with physical disabilities, may be made available by calling (702) 455-3530, TDD at (702) 385-7486, or Relay Nevada toll-free at (800) 326-6868, TD/TDD.
- Supporting material provided to Board/Council members for this meeting may be requested from Judith Metz at (702) 397-6475
  - Supporting material is/will also available at the Clark County Department of Administrative Services, 500 S. Grand Central Parkway, 6th Floor, Las Vegas, Nevada 89155.
  - Supporting material is/will be available on the County's website at specific Board/Council website.

Board/Council Members: Michael Abbott - Chairman  
Janes Ortiz – Vice Chair  
Member Lola Egan  
Member Cally Wade  
Member

Secretary: Judith Metz, (702)397-6475, Judith.Metz@clarkcountynv.gov  
Business Address: Moapa Valley Community Center  
320 N. Moapa Valley Blvd., Overton, Nv. 89040

County Liaison(s): William Covington, (702)455-2540, William.Covington@clarkcountynv.gov  
Business Address: Clark County Department of Administrative Services, 500 S. Grand Central  
Parkway, 6th Floor, Las Vegas, Nevada 89155

- 
- I. Call to Order, Invocation, Pledge of Allegiance, and Roll Call
- II. Public Comment- This is a period devoted to comments by the general public about items on this agenda. No discussion, action, or vote may be taken on this agenda item. You will be afforded the opportunity to speak on individual Public Hearing Items at the time they are presented. If you wish to speak to the Board/Council about items within its jurisdiction but not appearing on this agenda, you must wait until the "Comments by the General Public" period listed at the end of this agenda. Comments

BOARD OF COUNTY COMMISSIONERS  
TICK SEGERBLOM, Chair – WILLIAM MCCURDY II, Vice-Chair  
JAMES B. GIBSON – JUSTIN C. JONES – MARILYN KIRKPATRICK – APRIL BECKER – MICHAEL NAFT  
KEVIN SCHILLER, County Manager

will be limited to three (3) minutes. Please step up to the speaker's podium, if applicable, clearly state your name and address and please **spell** your last name for the record. If any member of the Board/Council wishes to extend the length of a presentation, this will be done by the Chairperson or the Board/Council by majority vote.

- III. Approval of Minutes of January 14, 2025, meeting. (For possible action)
- IV. Approval of the Agenda for May 13, 2025, meeting and Hold, Combine, or Delete any Items. (For possible action)
- V. Informational Items  
  
NONE
- VI. Planning and Zoning  
  
Presentation of “Moapa West Concept Plan/Moapa West Project Area”. (For Discussion Only)
- VII. General Business  
  
NONE
- VIII. Comments by the General Public- A period devoted to comments by the general public about matters relevant to the Board/Council’s jurisdiction will be held. No discussion, action, or vote may be taken on this agenda item. Comments will be limited to three (3) minutes. Please step up to the speaker's podium, if applicable, clearly state your name and address and please **spell** your last name for the record. If any member of the Board/Council wishes to extend the length of a presentation, this will be done by the Chairperson or the Board/Council by majority vote.
- IX. Next Meeting Date: May 27, 2025.
- X. Adjournment.

**POSTING LOCATIONS:** This meeting was legally noticed and posted at the following locations:  
Marley P. Robinson Justice Court - 1340 E. Hwy. 168 – Moapa, Nv. 89025  
<https://notice.nv.gov>



## Moapa Town Advisory Board

January 14, 2025

### DRAFT MINUTES

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Board Members:	Lola Egan – Chair – <b>PRESENT</b> Cally Wade – Vice Chair – <b>PRESENT</b> Michael Abbott – <b>PRESENT</b>	James Ortiz – <b>PRESENT</b>
Secretary:	Judy Metz – (702)397-6475 – <a href="mailto:Judith.metz@clarkcountynv.gov">Judith.metz@clarkcountynv.gov</a>	
County Liaison:	William Covington – (702)455-2540 – <a href="mailto:William.Covington@clarkcountynv.gov">William.Covington@clarkcountynv.gov</a>	

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I. Call to Order, Pledge of Allegiance, Roll Call (see above)

The meeting was called to order at 7:03 p.m.

II. Public Comment

None

III. Approval of December 10, 2024, Minutes.

**Moved by: Lola Egan**

**Action: Approved minutes as submitted.**

**Vote: 4-0/ Unanimous**

IV. Approval of Agenda for January 24, 2025.

**Moved by: Cally Wade.**

**Action: Approved agenda as submitted.**

**Vote: 4/0 Unanimous**

V. Informational Items

NONE

VI. Planning & Zoning

NONE

VII. General Business

Michael Abbott nominated as Chair and James Ortiz nominated as Vice Chair.

**Moved by: Lola Egan**

**Action: Approval**

**Vote: 4/0 Unanimous**

**Approval of 2025 Calendar as presented.**

**Moved by: Michael Abbott**

**Vote: 4/0 Unanimous**

**Approval of Moapa TAB By-Laws as presented.**

**Motion by: Micael Abbott**

**Vote: 4/0 Unanimous**

**Josh Jensen nominated to continue on the Moapa Valley Fire Protection District Advisory Board.**

**Moved by: Michael Abbott**

**Action Approval of appointment.**

**Vote: 4/0 Unanimous.**

VIII. Public Comment:

NONE

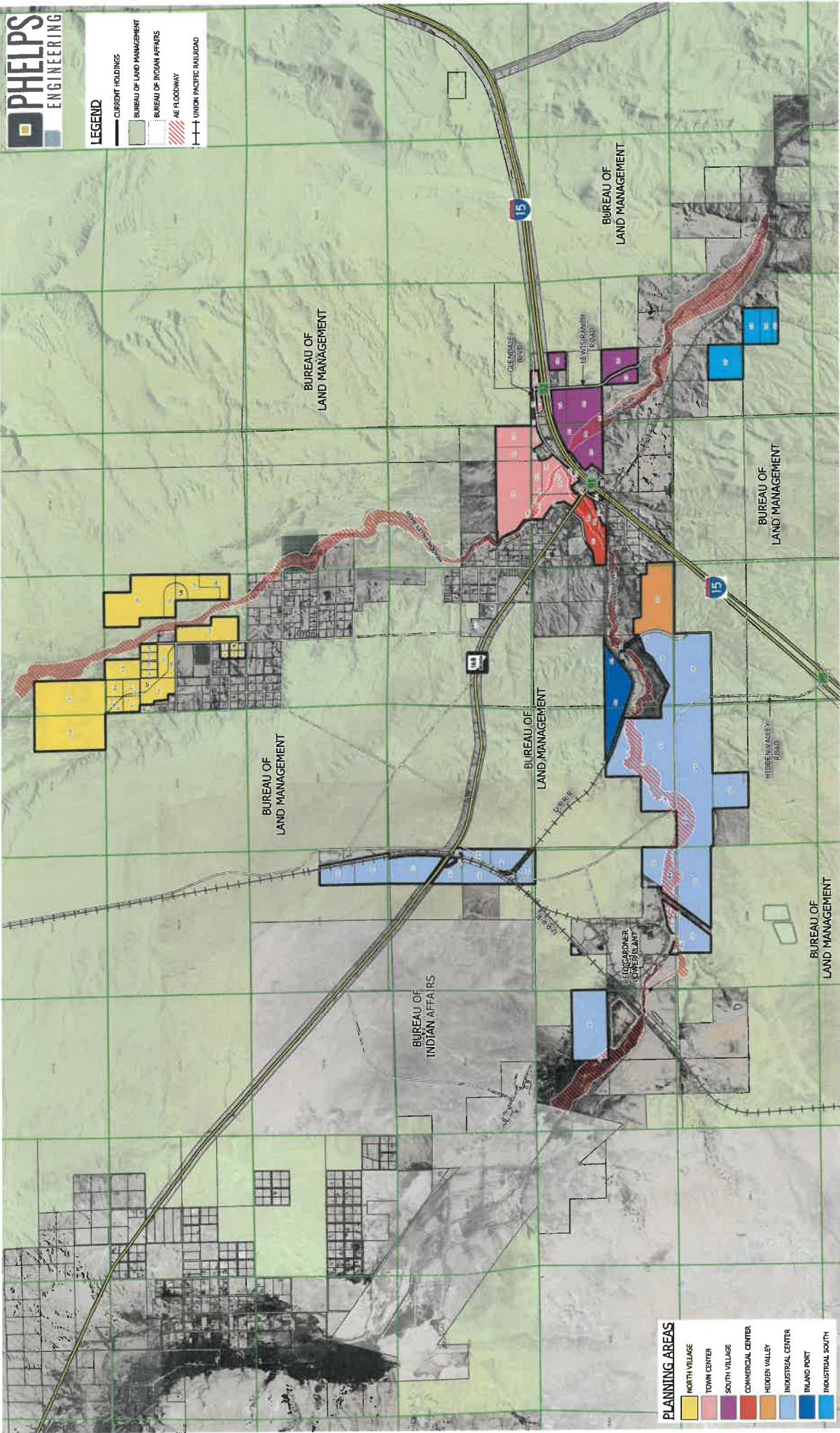
IX. Next Meeting Date

The next regular meeting will be January 28, 2025, at 6:00 p.m.

X. Adjournment

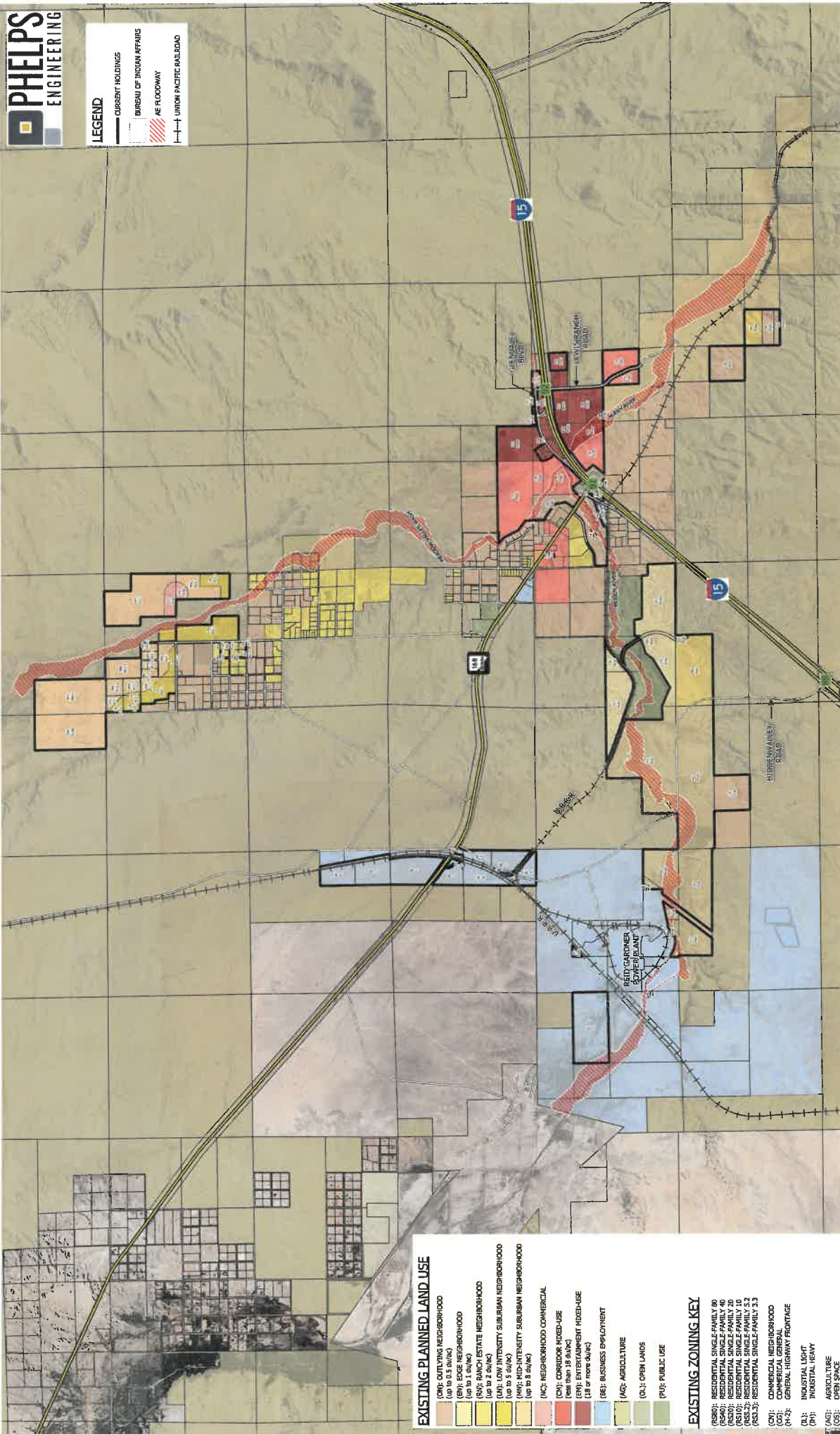
The meeting was adjourned at 7:12PM. p.m.





# MOAPA WEST PROJECT AREA GUIDE





# MOAPA WEST EXISTING LAND USE

## EXISTING PLANNED LAND USE

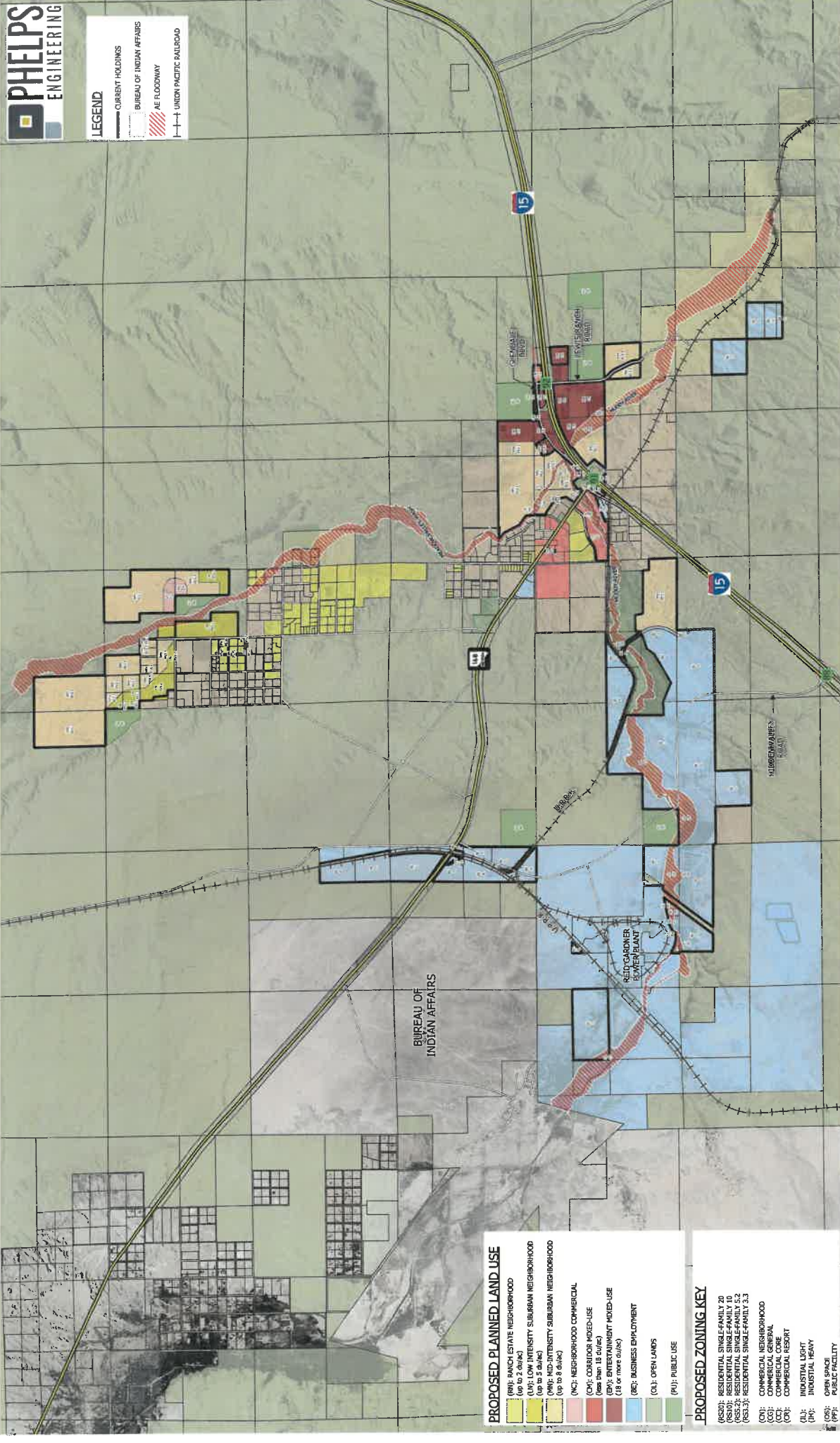
- (OUP): OUTLYING NEIGHBORHOOD (up to 0.5 du/ac)
- (EN): EDGE NEIGHBORHOOD (up to 1 du/ac)
- (RSP): RICH ESTATE NEIGHBORHOOD (up to 2 du/ac)
- (LSP): LOW INTENSITY SUBURBAN NEIGHBORHOOD (up to 5 du/ac)
- (MSP): MID-INTENSITY SUBURBAN NEIGHBORHOOD (up to 8 du/ac)
- (NC): NEIGHBORHOOD COMMERCIAL
- (CN): CORRIDOR MIXED-USE
- (EP): ENTERPRISE MIXED-USE (18 or more du/ac)
- (BE): BUSINESS EMPLOYMENT
- (AG): AGRICULTURE
- (OL): OPEN LANDS
- (PU): PUBLIC USE

## EXISTING ZONING KEY

- (RSB): RESIDENTIAL SINGLE-FAMILY 80
- (RS40): RESIDENTIAL SINGLE-FAMILY 40
- (RS20): RESIDENTIAL SINGLE-FAMILY 20
- (RS10): RESIDENTIAL SINGLE-FAMILY 10
- (RS1.2): RESIDENTIAL SINGLE-FAMILY 1.2
- (RS1.3): RESIDENTIAL SINGLE-FAMILY 1.3
- (CN): COMMERCIAL NEIGHBORHOOD
- (CG): COMMERCIAL GENERAL
- (CH): COMMERCIAL HIGHWAY FRONTAGE
- (N-2): INDUSTRIAL LIGHT
- (N-1): INDUSTRIAL HEAVY
- (AG): AGRICULTURE
- (OS): OPEN SPACE
- (PF): PUBLIC FACILITY







**PROPOSED PLANNED LAND USE**

(R10): RANCH ESTATE NEIGHBORHOOD (up to 2 a/c)	(C1): COMMERCIAL NEIGHBORHOOD
(L10): LOW INTENSITY SUBURBAN NEIGHBORHOOD (up to 5 a/c)	(C2): COMMERCIAL CORE
(M10): MID-INTENSITY SUBURBAN NEIGHBORHOOD (up to 8 a/c)	(C3): COMMERCIAL CORE
(N10): NEIGHBORHOOD COMMERCIAL (less than 18 a/c)	(I1): INDUSTRIAL LIGHT
(C10): CORRIDOR MIXED-USE (18 or more a/c)	(I2): INDUSTRIAL HEAVY
(E10): ENTERTAINMENT MIXED-USE (18 or more a/c)	(O1): OPEN SPACE
(B10): BUSINESS EMPLOYMENT	(P1): PUBLIC FACILITY
(O1): OPEN LANDS	
(P1): PUBLIC USE	

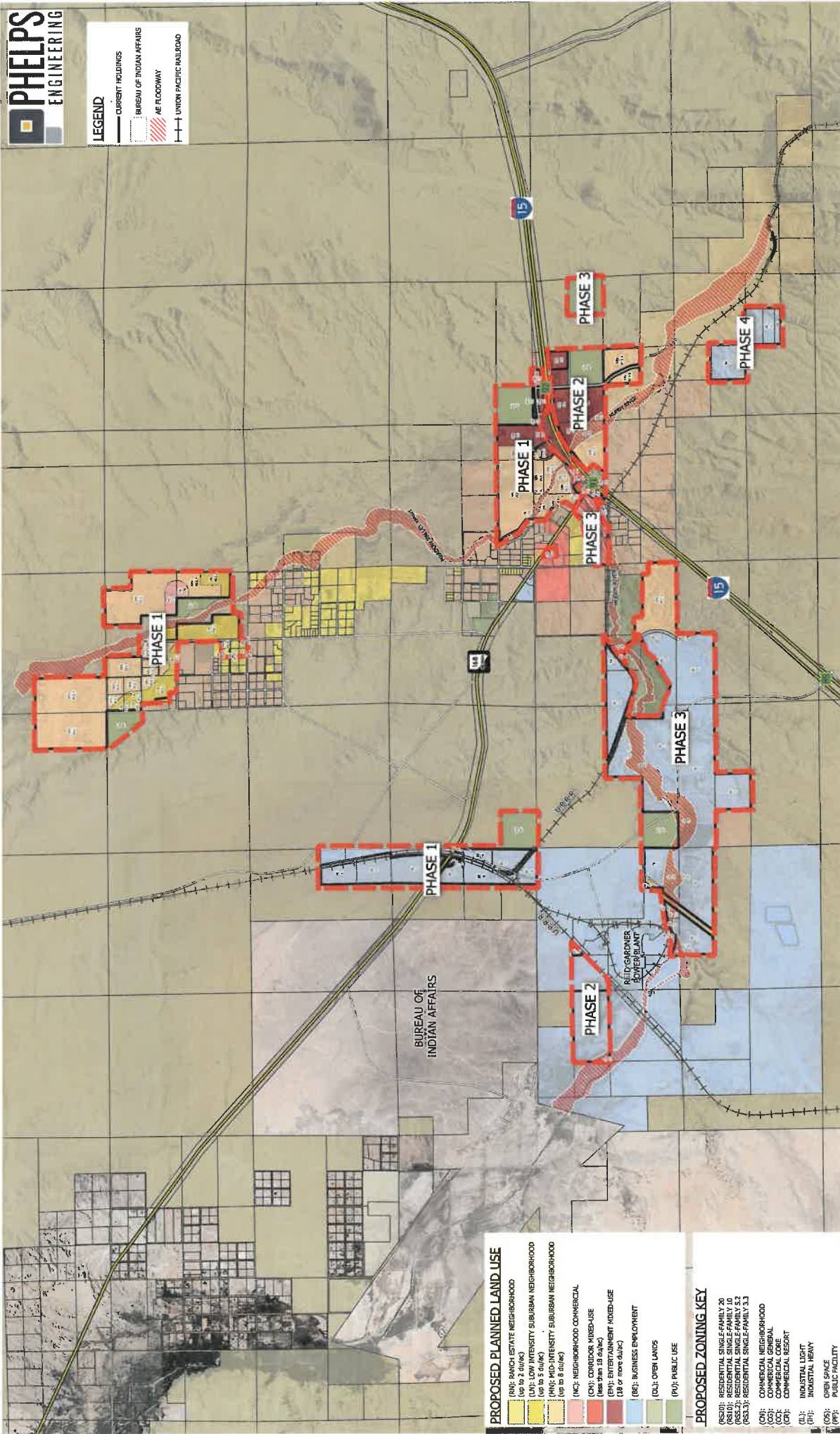
**PROPOSED ZONING KEY**

(RS10): RESIDENTIAL SINGLE-FAMILY 20
(RS10): RESIDENTIAL SINGLE-FAMILY 10
(RS10): RESIDENTIAL SINGLE-FAMILY 5
(RS10): RESIDENTIAL SINGLE-FAMILY 3.3
(C1): COMMERCIAL NEIGHBORHOOD
(C2): COMMERCIAL CORE
(C3): COMMERCIAL CORE
(I1): INDUSTRIAL LIGHT
(I2): INDUSTRIAL HEAVY
(O1): OPEN SPACE
(P1): PUBLIC FACILITY

# MOAPA WEST PROPOSED LAND USE







# MOAPA WEST PHASING MAP

**PROPOSED PLANNED LAND USE**

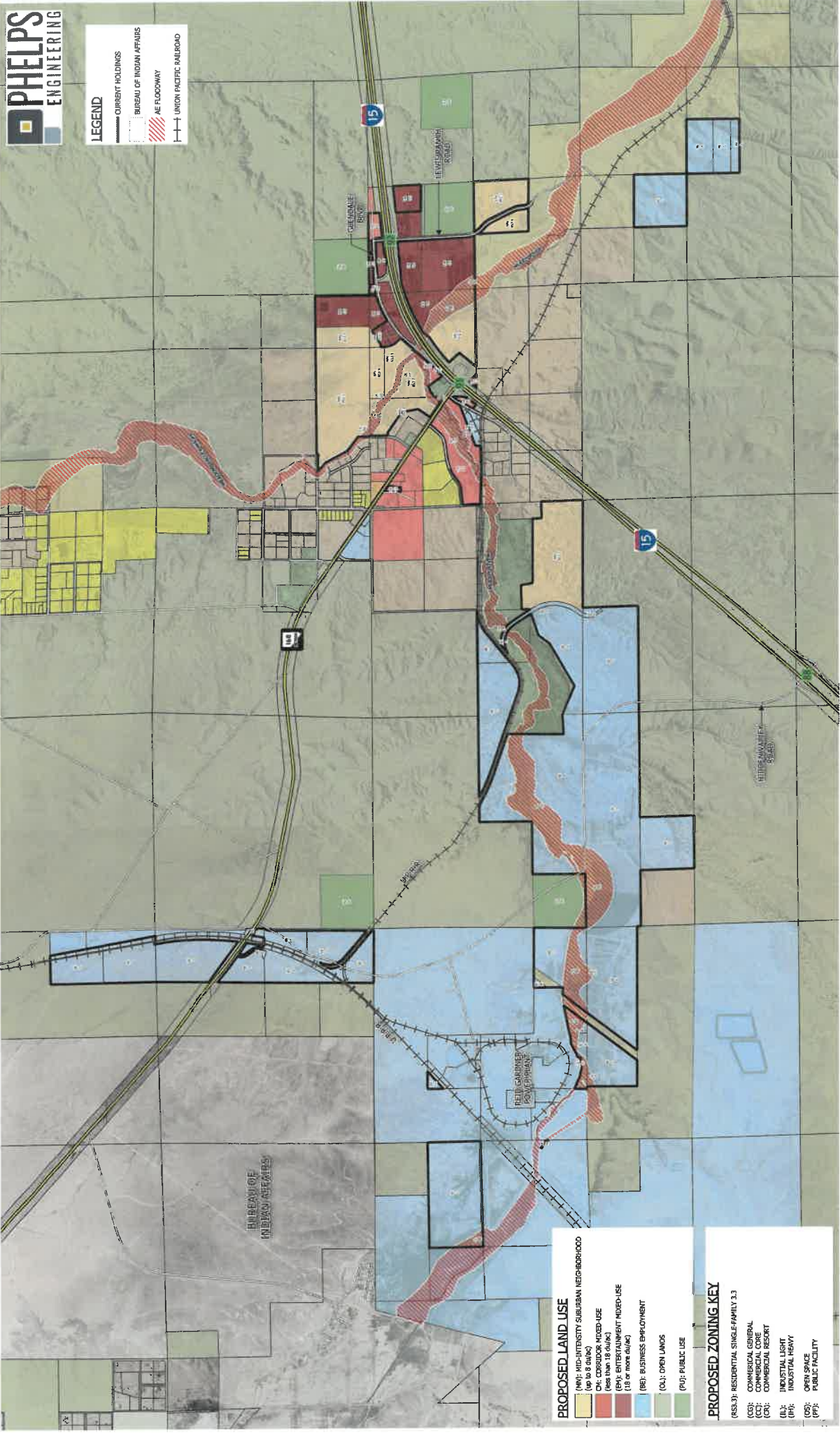
(R100)	RANCH ESTATE NEIGHBORHOOD (up to 2 a/c)
(R200)	LOW INTENSITY SUBURBAN NEIGHBORHOOD (up to 5 a/c)
(R300)	MID-INTENSITY SUBURBAN NEIGHBORHOOD (up to 8 a/c)
(R400)	NEIGHBORHOOD COMMERCIAL (up to 18 a/c)
(R500)	CORRIDOR MIXED-USE (18 or more a/c)
(R600)	ENTERTAINMENT MIXED-USE (18 or more a/c)
(R700)	BUSINESS EMPLOYMENT
(O1)	OPEN LANDS
(P1)	PUBLIC USE

**PROPOSED ZONING KEY**

(R100)	RESIDENTIAL SINGLE-FAMILY 20
(R200)	RESIDENTIAL SINGLE-FAMILY 10
(R300)	RESIDENTIAL SINGLE-FAMILY 5
(R400)	COMMERCIAL RESORT
(R500)	COMMERCIAL RESORT
(R600)	COMMERCIAL RESORT
(R700)	COMMERCIAL RESORT
(O1)	INDUSTRIAL LIGHT
(O2)	INDUSTRIAL HEAVY
(O3)	OPEN SPACE
(P1)	PUBLIC FACILITY







**PROPOSED LAND USE**

(MNI): MID-INTENSITY SUBURBAN NEIGHBORHOOD	(UP): PUBLIC USE
(UP TO 8 A/C)	
(EMI): ENTERTAINMENT MODERATE-USE	
(18 or more A/C)	
(BE): BUSINESS EMPLOYMENT	
(18 or more A/C)	
(OL): OPEN LANDS	
(PU): PUBLIC USE	

**PROPOSED ZONING KEY**

(RES-1): RESIDENTIAL SINGLE-FAMILY 2.5
(CG): COMMERCIAL GENERAL
(CC): COMMERCIAL CORE
(CR): COMMERCIAL RESORT
(IL): INDUSTRIAL LIGHT
(IH): INDUSTRIAL HEAVY
(OS): OPEN SPACE
(PF): PUBLIC FACILITY

# MOAPA WEST SOUTHERN ENLARGEMENT

04/23/2023  
DRAFT



PHASE 3

INDUSTRIAL CENTER

PHASE 2

INDUSTRIAL CENTER

PHASE 1

INDUSTRIAL CENTER

ID	APN	Owner	Area	ASBL_ACSSES	PUJ	(E) PUJ	ZZ	(E) ZZ	Phase	Project
410	0129701001	Chao Chao Express LLC	25.1	20.00	BE	BE	IL	IL	1	Industrial Center
411	0129601001	Chao Chao Express LLC	31.2	25.00	BE	BE	IL	IL	1	Industrial Center
412	0129601001	Chao Chao Express LLC	47.2	31.00	BE	BE	IL	IL	1	Industrial Center
413	0129601001	Chao Chao Express LLC	38.7	31.00	BE	BE	IL	IL	1	Industrial Center
414	0129601001	Chao Chao Express LLC	12.2	7.20	BE	BE	IL	IL	1	Industrial Center
415	0129601001	Chao Chao Express LLC	6.4	0.35	BE	BE	IL	IL	1	Industrial Center
416	0129601001	Chao Chao Express LLC	29.5	20.00	BE	BE	IL	IL	1	Industrial Center
417	0129601001	Chao Chao Express LLC	31.2	25.00	BE	BE	IL	IL	1	Industrial Center
418	0129601001	Chao Chao Express LLC	31.2	25.00	BE	BE	IL	IL	1	Industrial Center
419	0129601001	Chao Chao Express LLC	12.2	7.20	BE	BE	IL	IL	1	Industrial Center

TOWN CENTER

ID	APN	Owner	Area	ASBL_ACSSES	PUJ	(E) PUJ	ZZ	(E) ZZ	Phase	Project
100	0402020101	Chao Chao Express LLC	3.4	79.79	OL	OL	CH	CH	1	Town Center
101	0402020101	Chao Chao Express LLC	5.9	10.60	OL	OL	CH	CH	1	Town Center
102	0402020101	Chao Chao Express LLC	0.1	10.60	OL	OL	CH	CH	1	Town Center
103	0402020101	Chao Chao Express LLC	7.3	31.00	OL	OL	CH	CH	1	Town Center
104	0402020101	Chao Chao Express LLC	2.8	6.02	OL	OL	CH	CH	1	Town Center
105	0402020101	Chao Chao Express LLC	0.2	6.05	OL	OL	CH	CH	1	Town Center
106	0402020101	Chao Chao Express LLC	78.9	79.79	OL	OL	CH	CH	1	Town Center
107	0402020101	Chao Chao Express LLC	56.2	70.79	OL	OL	CH	CH	1	Town Center
108	0402020101	Chao Chao Express LLC	24.2	60.34	OL	OL	CH	CH	1	Town Center
109	0402020101	Chao Chao Express LLC	11.2	15.59	OL	OL	CH	CH	1	Town Center
110	0402020101	Chao Chao Express LLC	11.2	15.59	OL	OL	CH	CH	1	Town Center
111	0402020101	Chao Chao Express LLC	2.0	7.64	OL	OL	CH	CH	1	Town Center
112	0402020101	Chao Chao Express LLC	8.7	7.64	OL	OL	CH	CH	1	Town Center
113	0402020101	Chao Chao Express LLC	6.6	0.41	OL	OL	CH	CH	1	Town Center
114	0402020101	Chao Chao Express LLC	2.8	1.75	OL	OL	CH	CH	1	Town Center
115	0402020101	Chao Chao Express LLC	4.7	3.49	OL	OL	CH	CH	1	Town Center
116	0402020101	Chao Chao Express LLC	4.5	3.30	OL	OL	CH	CH	1	Town Center
117	0402020101	Chao Chao Express LLC	15.8	15.66	OL	OL	CH	CH	1	Town Center
118	0402020101	Chao Chao Express LLC	11.4	14.66	OL	OL	CH	CH	1	Town Center
119	0402020101	Chao Chao Express LLC	2.3	6.02	OL	OL	CH	CH	1	Town Center
120	0402020101	Chao Chao Express LLC	0.2	0.45	OL	OL	CH	CH	1	Town Center

NORTH VILLAGE

ID	APN	Owner	Area	ASBL_ACSSES	PUJ	(E) PUJ	ZZ	(E) ZZ	Phase	Project
121	0402020101	Chao Chao Express LLC	8.1	10.00	OL	OL	CH	CH	1	North Village
122	0402020101	Chao Chao Express LLC	8.1	10.00	OL	OL	CH	CH	1	North Village
123	0402020101	Chao Chao Express LLC	4.2	7.29	OL	OL	CH	CH	1	North Village
124	0402020101	Chao Chao Express LLC	8.8	7.29	OL	OL	CH	CH	1	North Village
125	0402020101	Chao Chao Express LLC	8.2	7.29	OL	OL	CH	CH	1	North Village
126	0402020101	Chao Chao Express LLC	8.2	7.29	OL	OL	CH	CH	1	North Village
127	0402020101	Chao Chao Express LLC	8.2	7.29	OL	OL	CH	CH	1	North Village
128	0402020101	Chao Chao Express LLC	8.2	7.29	OL	OL	CH	CH	1	North Village
129	0402020101	Chao Chao Express LLC	8.2	7.29	OL	OL	CH	CH	1	North Village
130	0402020101	Chao Chao Express LLC	8.2	7.29	OL	OL	CH	CH	1	North Village
131	0402020101	Chao Chao Express LLC	8.2	7.29	OL	OL	CH	CH	1	North Village
132	0402020101	Chao Chao Express LLC	8.2	7.29	OL	OL	CH	CH	1	North Village
133	0402020101	Chao Chao Express LLC	8.2	7.29	OL	OL	CH	CH	1	North Village
134	0402020101	Chao Chao Express LLC	8.2	7.29	OL	OL	CH	CH	1	North Village
135	0402020101	Chao Chao Express LLC	8.2	7.29	OL	OL	CH	CH	1	North Village
136	0402020101	Chao Chao Express LLC	8.2	7.29	OL	OL	CH	CH	1	North Village
137	0402020101	Chao Chao Express LLC	8.2	7.29	OL	OL	CH	CH	1	North Village
138	0402020101	Chao Chao Express LLC	8.2	7.29	OL	OL	CH	CH	1	North Village
139	0402020101	Chao Chao Express LLC	8.2	7.29	OL	OL	CH	CH	1	North Village
140	0402020101	Chao Chao Express LLC	8.2	7.29	OL	OL	CH	CH	1	North Village
141	0402020101	Chao Chao Express LLC	8.2	7.29	OL	OL	CH	CH	1	North Village
142	0402020101	Chao Chao Express LLC	8.2	7.29	OL	OL	CH	CH	1	North Village
143	0402020101	Chao Chao Express LLC	8.2	7.29	OL	OL	CH	CH	1	North Village
144	0402020101	Chao Chao Express LLC	8.2	7.29	OL	OL	CH	CH	1	North Village
145	0402020101	Chao Chao Express LLC	8.2	7.29	OL	OL	CH	CH	1	North Village
146	0402020101	Chao Chao Express LLC	8.2	7.29	OL	OL	CH	CH	1	North Village
147	0402020101	Chao Chao Express LLC	8.2	7.29	OL	OL	CH	CH	1	North Village
148	0402020101	Chao Chao Express LLC	8.2	7.29	OL	OL	CH	CH	1	North Village
149	0402020101	Chao Chao Express LLC	8.2	7.29	OL	OL	CH	CH	1	North Village
150	0402020101	Chao Chao Express LLC	8.2	7.29	OL	OL	CH	CH	1	North Village

ID	APN	Owner	Area	ASBL_ACSSES	PUJ	(E) PUJ	ZZ	(E) ZZ	Phase	Project
420	0402020101	W 5 Hesperia LLC	3.7	10.00	OL	OL	CH	CH	1	Industrial Center
421	0402020101	W 5 Hesperia LLC	2.1	1.01	BE	BE	IL	IL	1	Industrial Center
422	0402020101	W 5 Hesperia LLC	77.8	80.00	BE	BE	IL	IL	1	Industrial Center

SOUTH VILLAGE

ID	APN	Owner	Area	ASBL_ACSSES	PUJ	(E) PUJ	ZZ	(E) ZZ	Phase	Project
300	0402020101	WTC LLC	14.4	51.80	OL	OL	CH	CH	1	South Village
301	0402020101	WTC LLC	2.8	38.86	OL	OL	CH	CH	1	South Village
302	0402020101	WTC LLC	26.5	51.80	OL	OL	CH	CH	1	South Village
303	0402020101	WTC LLC	12.4	11.00	OL	OL	CH	CH	1	South Village
304	0402020101	WTC LLC	15.7	11.00	OL	OL	CH	CH	1	South Village
305	0402020101	WTC LLC	27.1	38.86	OL	OL	CH	CH	1	South Village
306	0402020101	WTC LLC	10.1	9.55	OL	OL	CH	CH	1	South Village
307	0402020101	WTC LLC	10.8	11.88	OL	OL	CH	CH	1	South Village
308	0402020101	WTC LLC	36.8	24.49	OL	OL	CH	CH	1	South Village

INLAND PORT

ID	APN	Owner	Area	ASBL_ACSSES	PUJ	(E) PUJ	ZZ	(E) ZZ	Phase	Project
430	0402020101	WTC LLC	48.3	49.31	OL	OL	CH	CH	1	Inland Port
431	0402020101	WTC LLC	9.8	10.00	OL	OL	CH	CH	1	Inland Port

COMMERCIAL CENTER

ID	APN	Owner	Area	ASBL_ACSSES	PUJ	(E) PUJ	ZZ	(E) ZZ	Phase	Project
300	0402020101	WTC LLC	9.9	24.71	OL	OL	CH	CH	1	Commercial Center
301	0402020101	WTC LLC	4.2	13.99	OL	OL	CH	CH	1	Commercial Center
302	0402020101	WTC LLC	1.1	1.00	OL	OL	CH	CH	1	Commercial Center
303	0402020101	WTC LLC	18.5	24.71	OL	OL	CH	CH	1	Commercial Center
304	0402020101	WTC LLC	7.6	13.99	OL	OL	CH	CH	1	Commercial Center
305	0402020101	WTC LLC	1.6	1.00	OL	OL	CH	CH	1	Commercial Center

HIDDEN VALLEY

ID	APN	Owner	Area	ASBL_ACSSES	PUJ	(E) PUJ	ZZ	(E) ZZ	Phase	Project
330	0402020101	WTC LLC	76.8	78.15	OL	OL	CH	CH	1	Hidden Valley

PHASE 4

INDUSTRIAL SOUTH

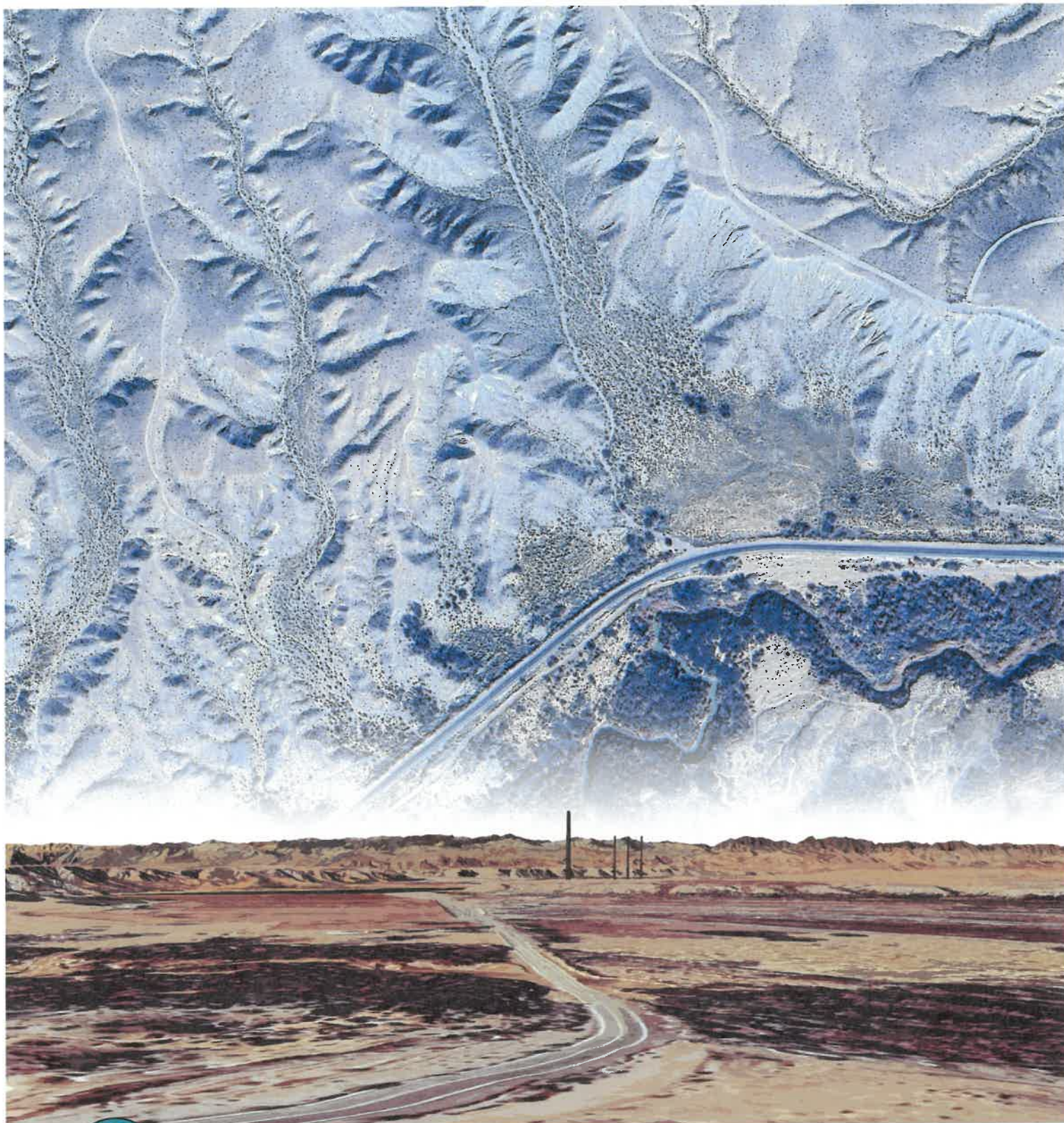
ID	APN	Owner	Area	ASBL_ACSSES	PUJ	(E) PUJ	ZZ	(E) ZZ	Phase	Project
120	0402020101	WTC LLC	35.8	40.00	OL	OL	CH	CH	1	Industrial South
121	0402020101	WTC LLC	20.6	20.00	OL	OL	CH	CH	1	Industrial South
122	0402020101	WTC LLC	13.2	13.33	OL	OL	CH	CH	1	Industrial South
123	0402020101	WTC LLC	6.6	6.67	OL	OL	CH	CH	1	Industrial South



MOAPA WEST  
PROJECT AREA INVENTORY







# MOAPA WEST



Concept Specific Plan: DRAFT Development Standards



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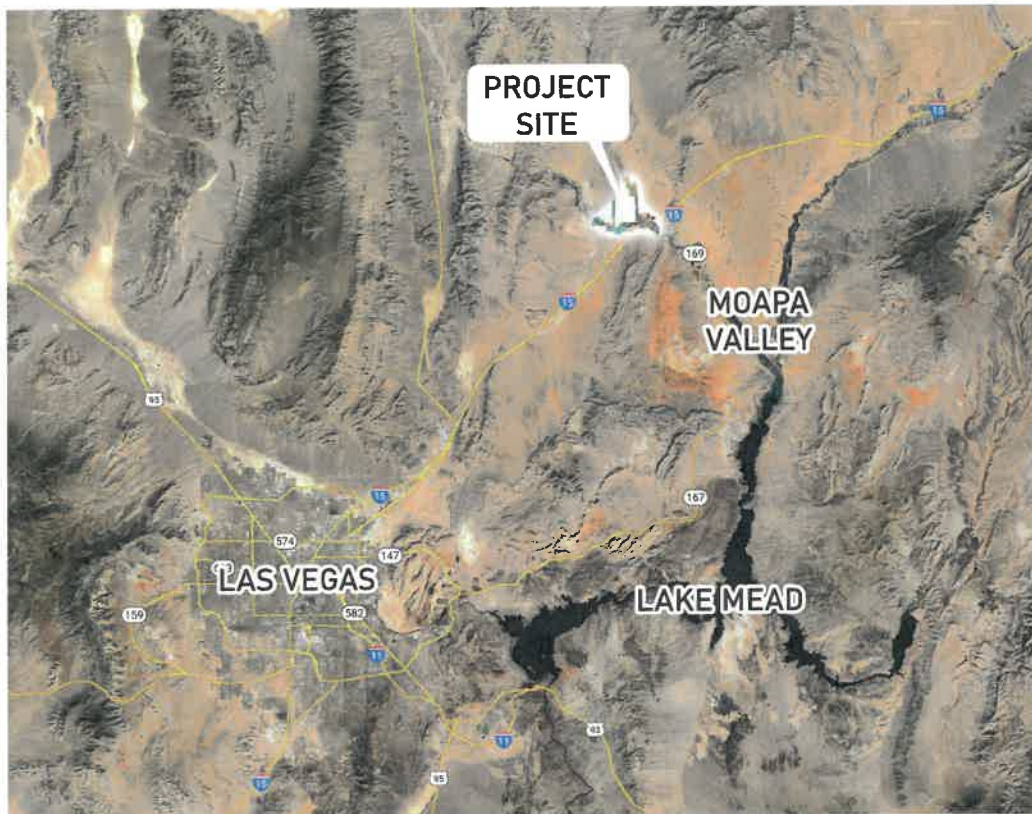
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## INTRODUCTION

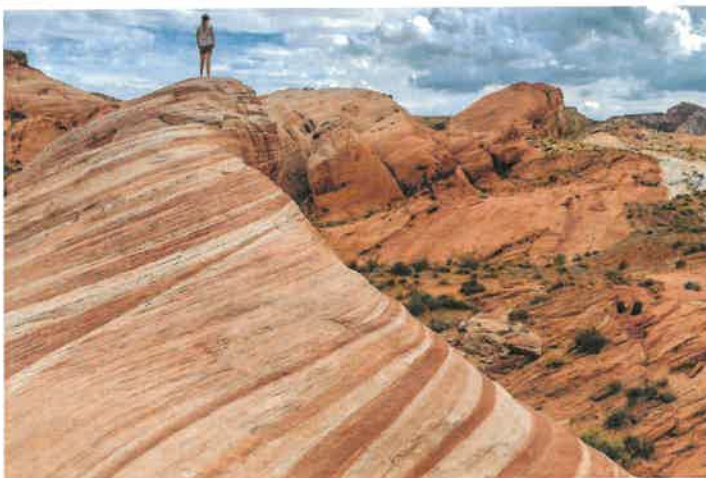
The Moapa West project sits approximately 50 miles away from Las Vegas, about a 50 minute drive. Moapa currently exists as a rural desert bedroom community for the Las Vegas greater metro area. The primary transportation in the area is I-15, which the project connects to. Railroad lines from Union Pacific run through the Moapa area, connecting the region to Los Angeles to the south and Salt Lake City to the north. See Vicinity Map below for project site location.

These established transportation routes designate the Moapa area as an ideal opportunity for multi-modal development: industrial uses provide employment for residential communities who will stabilize the commercial core of the village center.



VICINITY MAP

not to scale

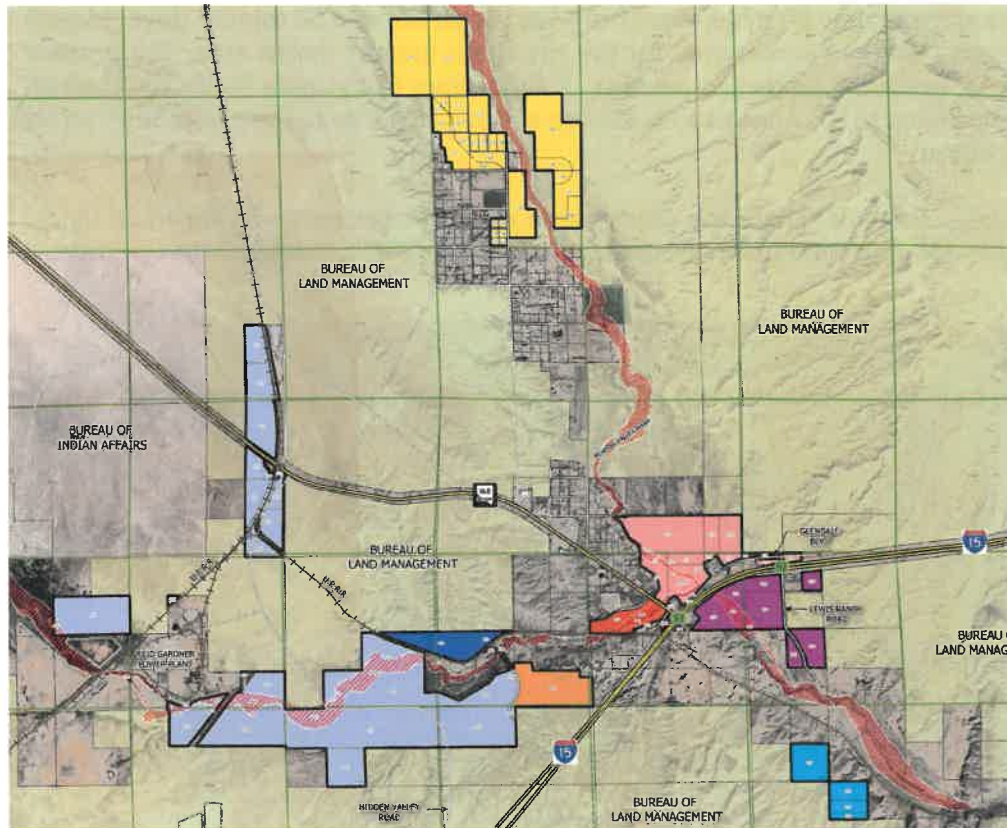


A majority of the boundaries for the Moapa West project site is adjacent to open desert managed by the Bureau of Land Management (BLM).

The desert ecology and natural landforms of the site are a key component to be celebrated by this project's development.

As a desert, a great deal of the natural topography is dominated by the washes that feed into the Muddy River and Meadow Valley Wash, which themselves coalesce and travel through Moapa Valley and flow into Lake Mead to the south.

## PROPOSED PLANNING AREAS



### PLANNING AREAS

- North Village
- Town Center
- South Village
- Commercial Center
- Hidden Valley
- Industrial Center
- Inland Port
- Industrial South

### NORTH VILLAGE

North Village is an opportune area for residential expansion, featuring single family and neighborhood commercial land uses. North Village aims to provide new residential development, while honoring the existing rural residential lifestyle.

### TOWN CENTER

Town Center is the hub of Moapa West, featuring mid-intensity single family residential and commercial mixed use designations to build a centralized community within the greater area.

### SOUTH VILLAGE

South of I-15, the South Village planning area is located appropriately for entertainment mixed use purposes and additional single family residential development. Commercial Resort land use is anticipated in the South Village planning area. Most of South Village lies within a 1 to 2 mile distance to the Town and Commercial Centers, so pedestrian connectivity is encouraged.

### COMMERCIAL CENTER

The Commercial Center is centrally located within Moapa West, and offers opportunities for RV parks, or other commercial uses to support the community.

### HIDDEN VALLEY

A residential neighborhood that is separate from the North and South Villages, the Hidden Valley planning area features (MN) land use exclusively.

### INDUSTRIAL CENTER

The economic driver of Moapa West, the Industrial Center will host mostly light industrial uses creating employment opportunities across many sectors. This ideal location capitalizes on the proximity to I-15, UPRR, Las Vegas and the proposed commercial and residential planning areas.

### INLAND PORT

The Inland Port is dedicated to serving the Moapa West as the dedicated distribution center for the community, adjacent to the existing rail line infrastructure.

### INDUSTRIAL SOUTH

Industrial South planning area presents opportunities for light industrial facilities surrounded by largely undeveloped areas.

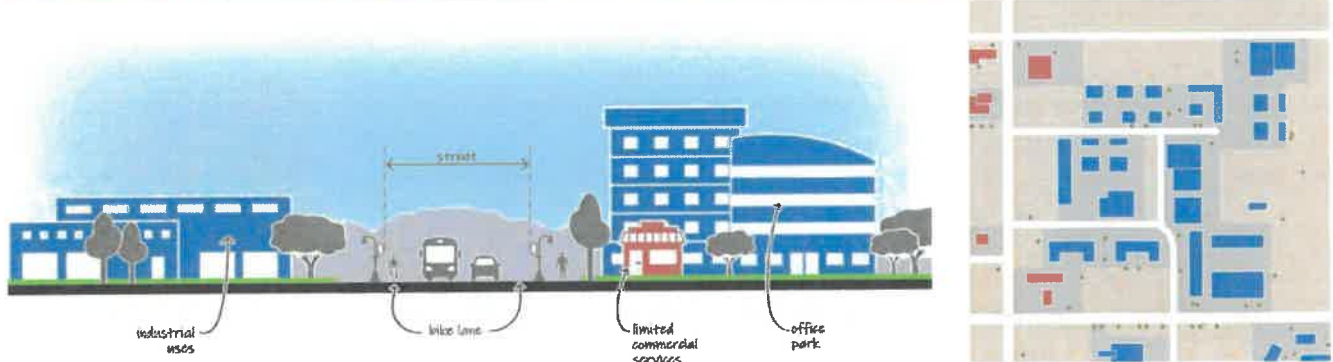


## PROPOSED LAND USE CATEGORIES

The proposed Land Uses consists of a combination of the following categories as put forth by the Transform Clark County Master Plan: Employment, Neighborhoods, Commercial & Mixed Use, Open Lands, and Public Use. Locations and boundaries of these land uses can be seen in the attached Concept Specific Plan exhibits. Densities and conforming zoning districts shall conform to Clark County Title 30 standards.



### EMPLOYMENT



#### BE: Business Employment

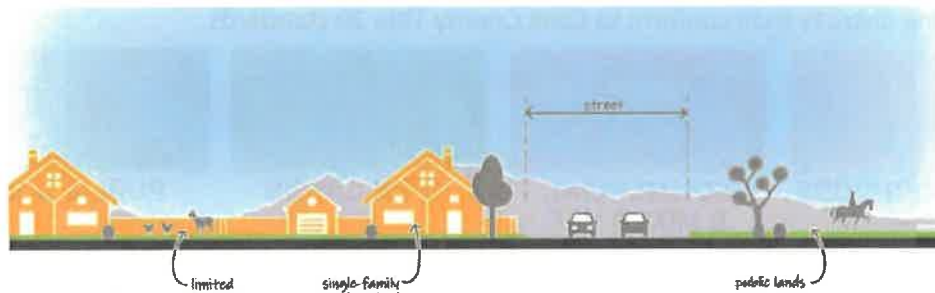
The Business Employment district is the backbone of the Moapa West project. With Moapa Valley being a connecting point between I-15, SR-168, and the railways, there is an abundance of transportation and distribution options available to a variety of business sectors to access. Distribution, data services, warehousing and light manufacturing will activate the region and serve to strengthen Moapa's economic core.



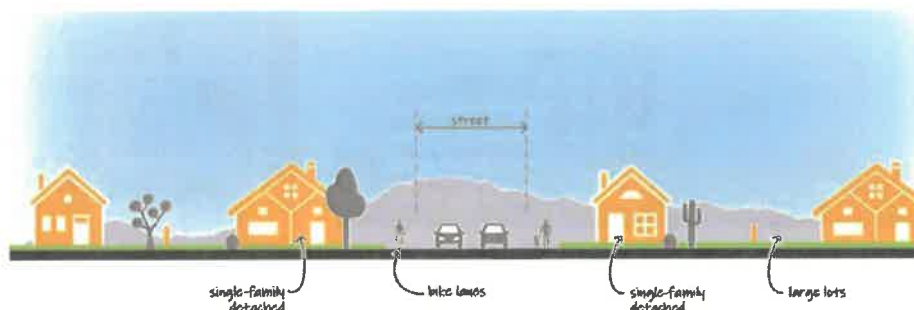
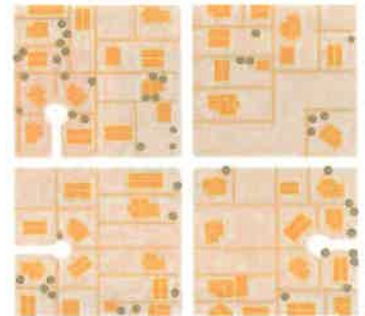
Land Use graphics referenced from the Transform Clark County Master Plan.

## PROPOSED LAND USE CATEGORIES

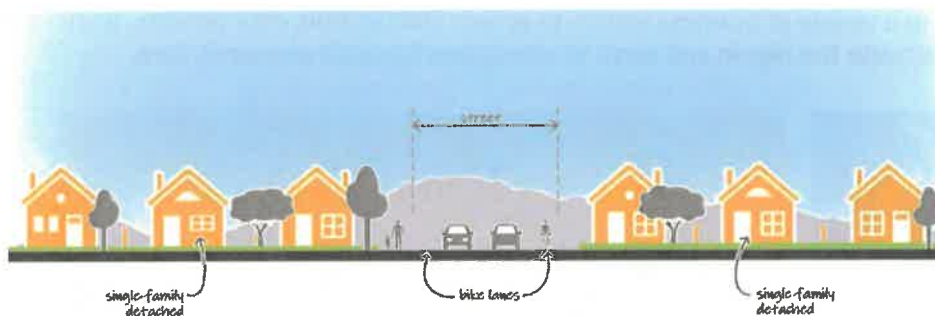
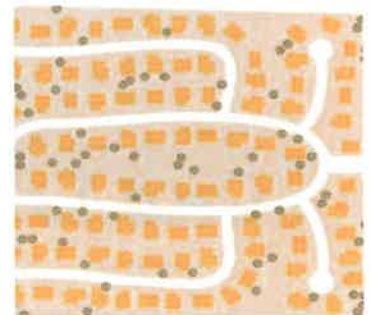
### NEIGHBORHOODS



**RN: Ranch Estate Neighborhood**



**LN: Low-Intensity Suburban Neighborhood**



**MN: Mid-Intensity Suburban Neighborhood**



Residential Development in Henderson, NV



Developing neighborhood in Las Vegas, NV

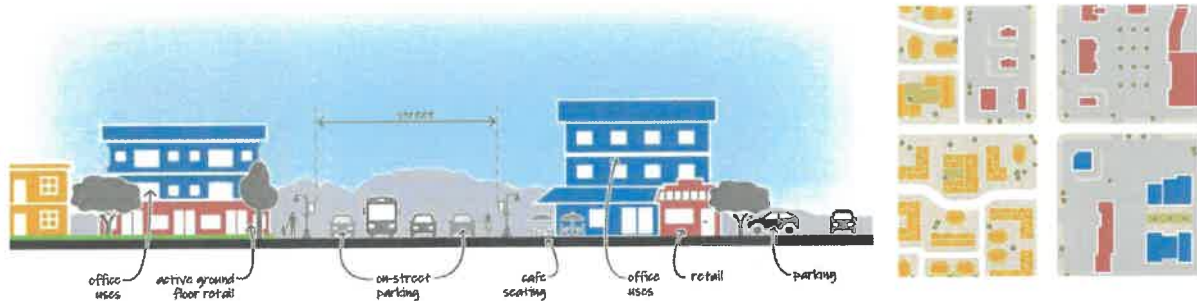
Residential land use in this plan is primarily located within the North Village neighborhood, the Town Center, and in between the Muddy River and I-15. These communities will prioritize detached single family homes, varied housing types, enhanced livability and pedestrian connectivity.

Land Use graphics referenced from the Transform Clark County Master Plan.

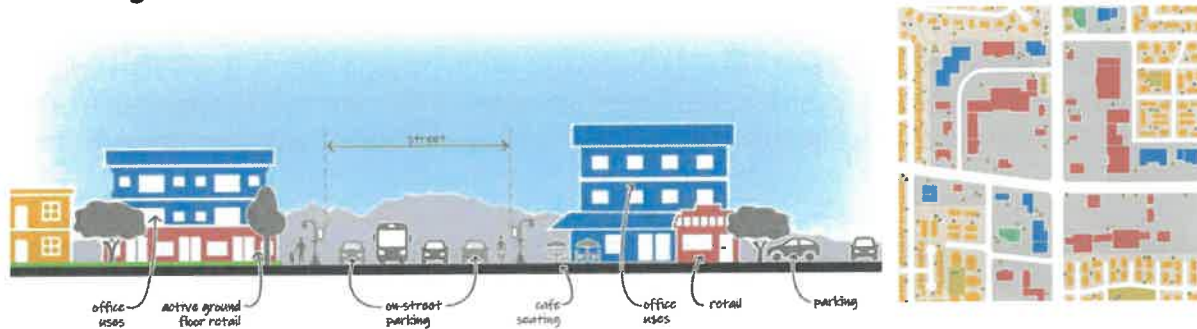


## PROPOSED LAND USE CATEGORIES

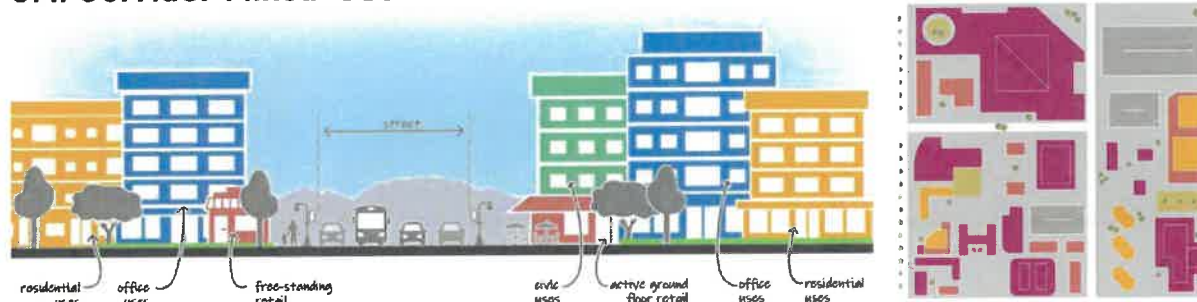
### COMMERCIAL & MIXED USE



**NC: Neighborhood Commercial**



**CM: Corridor Mixed-Use**



**EM: Entertainment Mixed-Use**

The commercial & mixed use core of the project is concentrated near highway Exit 91, at the intersection of SR-168 & I-15, and at highway Exit 92 along Lewis Ranch Rd. The commercial center has the lowest acreage between the land uses but will be the destination for day-to-day retail servicing the residents and visitors who make up the Moapa West project as well as surrounding communities. The Corridor Mixed-Use and Entertainment Mixed-Use land use categories provide options for denser housing beyond single family dwellings.



Shopping district in Centennial Hills, Las Vegas.

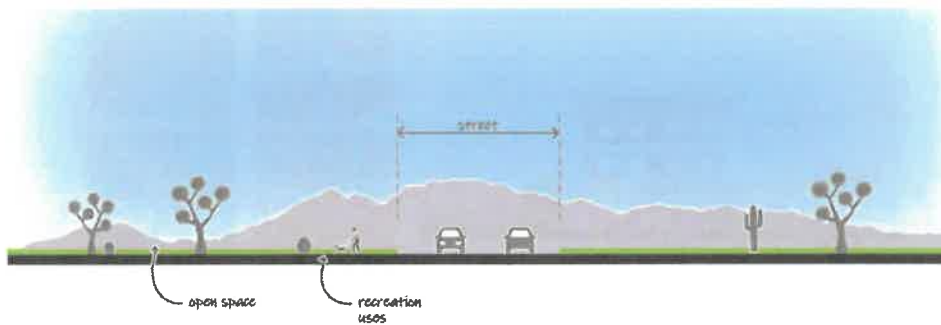


Family event at the commercial core Water Street District in Henderson, NV.

Land Use graphics referenced from the Transform Clark County Master Plan.

## PROPOSED LAND USE CATEGORIES

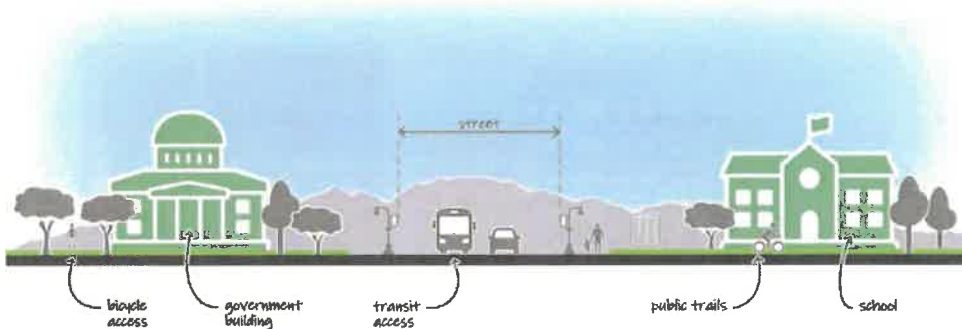
### OPEN LANDS



#### OL: Open Lands

The natural desert setting and vast open skies are hallmarks of the Moapa region. Their conservation and protection are a critical component to the land use programming and will be maintained. Recreation uses could include outdoor hiking trails, connections to motorized vehicle trails, and other compatible use associated with desert lifestyle.

### PUBLIC USE



#### PU: Public Use

Public Use land use designations are intended to accommodate public facilities such as parks, schools, utilities, public safety facilities, or other public serving uses. Public uses are owned and managed by Clark County or other local or regional entities.



## DIMENSIONAL STANDARDS

RESIDENTIAL DISTRICT - SINGLE FAMILY					
LOT	RS40	RS20	RS10	RS5.2	RS3.3
Lot area, min	40,000 sf	20,000 sf	10,000 sf	5,200 sf	3,300 sf
Net lot area, min	36,000 sf	18,000 sf	9,000 sf	-	-
Lot coverage, max	25%	50%	50%	-	-
SETBACK, Primary / Accessory (Min. Ft.)					
Front	40	30	20	15	10
Side Interior	15 / 5	10 / 5	10 / 5	5	5
Side Street	25 / 10	15 / 10	15 / 10	10	10
Rear	50 / 5	30 / 5	20 / 5	15 / 5	10 / 5
Bldg. Separation	6	6	6	6	6
Structure Height	35 / 25	35 / 25	35 / 14	35 / 14	35 / 14

RESIDENTIAL DISTRICT - MULTI-FAMILY	
LOT	RM18
Lot area, min	7,000 sf
Density, max	18 du/ac
SETBACK, Primary / Accessory (Min. Ft.)	
Front	20
Side Interior	20
Side Street	20
Rear	20 / 5
Bldg. Separation	10 / 6
Structure Height	35
Open Space	150 sf/unit

COMMERCIAL DISTRICT				
LOT	CN	CP	CG	CC
Lot area, min	-	-	-	-
Lot coverage, max	60%	65%	70%	75%
SETBACK (Min. Ft.)				
Front	10	15	10	10
Side Interior	-	-	-	-
Side Street	10	10	10	10
Rear	-	-	-	-
Structure Height	35	35	50	55

INDUSTRIAL DISTRICT			
LOT	IP	IL	IH
Lot area, min	-	-	-
Lot Coverage, max	80%	80%	80%
SETBACK (Min. Ft.)			
Front	20	20	20
Side Interior	10	10	10
Side Street	20	20	20
Rear	-	-	-
Occupied Structure Height	60	60	75
Unoccupied Structure Height	-	110*	110*

SPECIAL DISTRICT	
LOT	OS
Lot area, min	-
Density, max	1 du / 10 ac
Lot coverage, max	5%
SETBACK (Min. Ft.)	
Front	50
Side Interior	25
Side Street	50
Rear	75
Structure Height	35

\* Conditional Use Permit to be required for structures exceeding max height.  
Unoccupied structures to be allowed up to 110' w/ Conditional Use Permit.

Note:  
Highlighted areas represent deviated standards to Clark County Title 30.

## DEVELOPMENT STANDARDS

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All development shall comply with Unified Building Code (UBC), Clark County Title 30 and applicable regulations under state or federal law, unless otherwise noted. The enclosed modified standards will supplement certain portions of Clark County Title 30.

### Shared Drive Access

The county encourages sharing access drives between separate parcels. Some of the following standards may be relaxed if shown during the site design review process that more efficient design can be accomplished without jeopardizing the public's health, safety, and welfare.

### Sidewalks

Development shall install sidewalks in commercial & mixed use areas as necessary for pedestrian use. Otherwise, sidewalks shall not be required.

### Street Lighting

Development shall provide street lighting in accordance with Clark County Uniform Drawing Standard. Streetlights shall only be required in Business Employment (industrial) and Commercial & Mixed Use areas at intersections of roadways and driveways. No streetlights shall be required in Neighborhood (residential) areas.

### Exterior Lighting

Appropriate levels of lighting shall be provided to create adequate visibility and safety at night. A detailed photometric lighting plan prepared by a licensed electrical engineer shall be submitted at the time of application and shall include, but not be limited to, types and styles of lighting fixtures, location of lighting fixtures and a photometric lighting plan. The lighting plan shall demonstrate compliance with the following requirements.

1. Exterior lighting shall be of low intensity and shielded so that light will not spill out onto surrounding properties or project above the horizontal plane.
2. Light shall not exceed 1.0 footcandles at the property line.
3. The height of light fixtures should be in proportion to the building mass and in no instance shall light poles be more than forty (40) feet in height.
4. Wall mounted lights shall be directed downward. Soffit mounted light fixtures should be recessed in the soffit or otherwise fully shielded from view from any property line.

Exterior lighting shall be minimized in residential areas in order to promote dark skies and the County's nighttime character.

### Bus Turn Outs

Bus turn outs and shelters shall be required where deemed necessary by the county traffic engineer based on the impacts of the property where the bus turnout is required. If shelters are provided they shall be installed outside of the sidewalk area. Required turnouts may encroach into the perimeter landscape area. Bus turn outs must meet the uniform standard drawings provided by RTC Southern Nevada. Bus shelters must integrate into the design of the development and landscaping, and be installed outside of the sidewalk so that pedestrian movement is not impeded.

### Drive Access Required

All off-street parking spaces shall be accessed from an access drive—not directly from the public street. Access drives shall be a minimum of twenty-four (24) feet in width for two-way traffic and a minimum of twelve (12) feet in width for one-way traffic. Access roads that are designated or required for Fire Department apparatus access roads shall be a minimum of twenty-four (24) ft in clear width and may be unpaved provided a soils report from an engineer supports no pavement is needed.



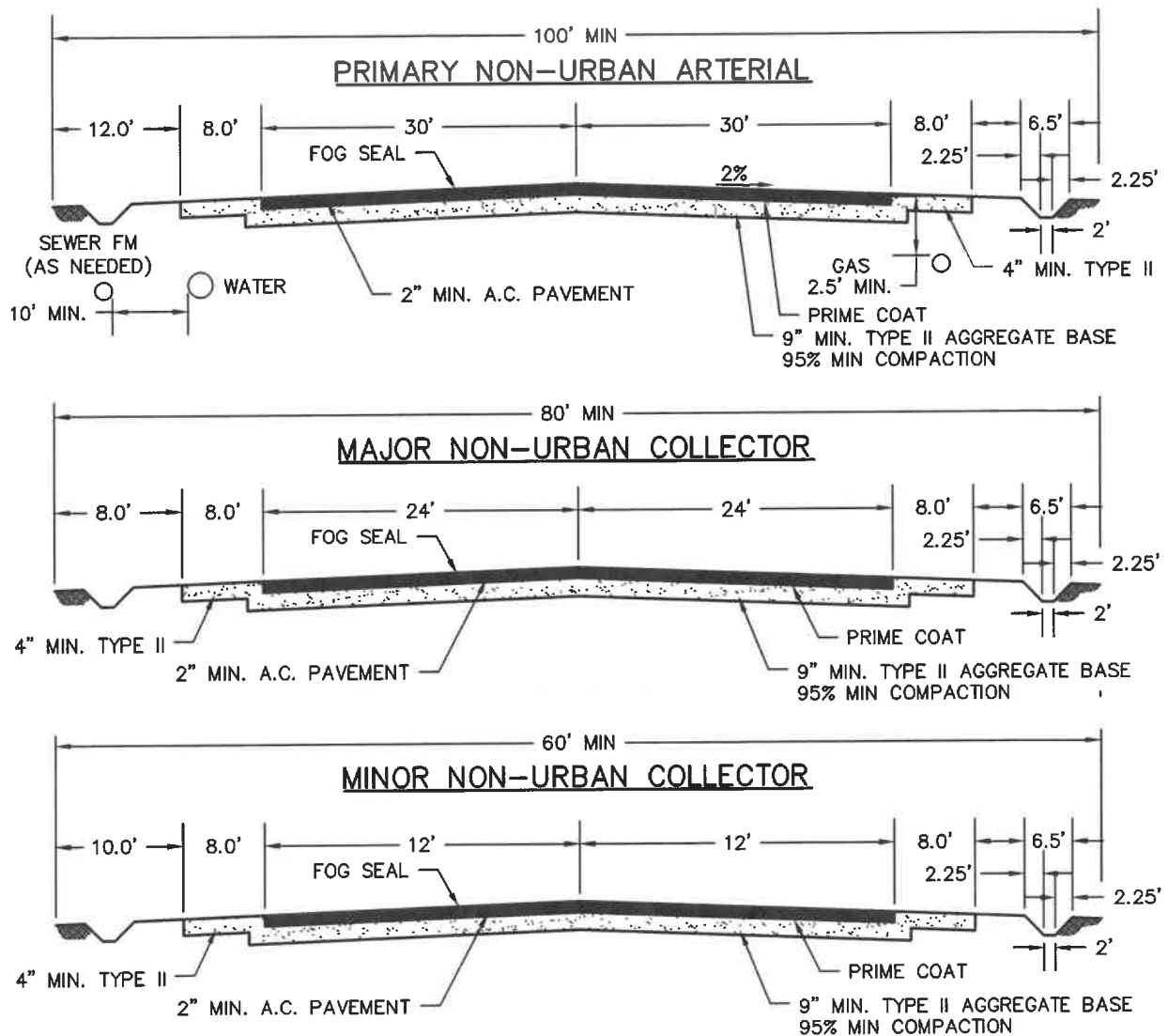


## DEVELOPMENT STANDARDS

### Streetscape

Moapa West is comprised of various planning areas with industrial, residential, and mixed use / commercial uses and the street system that connects these areas are critical to activating the region. Arterial, Collector and Local roads will be sited based on projected traffic flows. Notable documents for the streetscape design will reference the CC UDC Section 30.04.08 complying with the Uniform Standard Drawings provided by the Regional Transportation Commission of Southern Nevada.

### Employment / Commercial Mixed Use Street Sections



### Off Site Improvements

Curb, gutter, and sidewalk, shall not be required in Business Employment (industrial) areas.

## Public / Neighborhood Street Sections



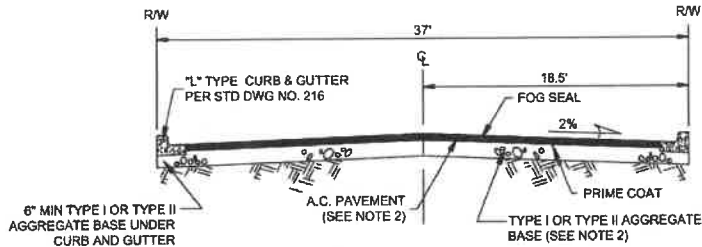
Public neighborhood streets shall include curb and gutter. Sidewalk and streetlights shall not be required.

Moapa West  
DRAFT Development Standards

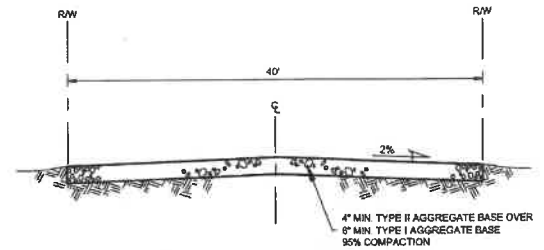


# DEVELOPMENT STANDARDS

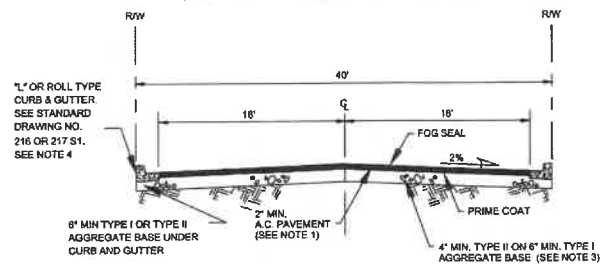
## Private / Neighborhood Street Sections



**Option A - L Curb**

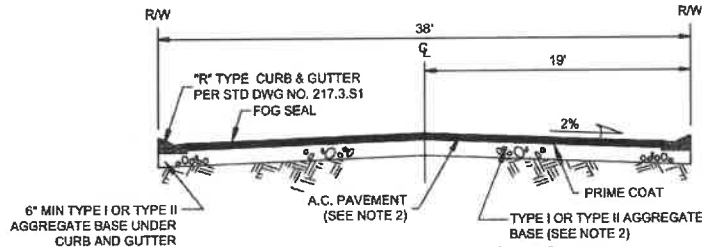


**GRAVEL**  
(THIS SECTION NOT FOR USE IN PM-10 NON-ATTAINMENT AREAS)

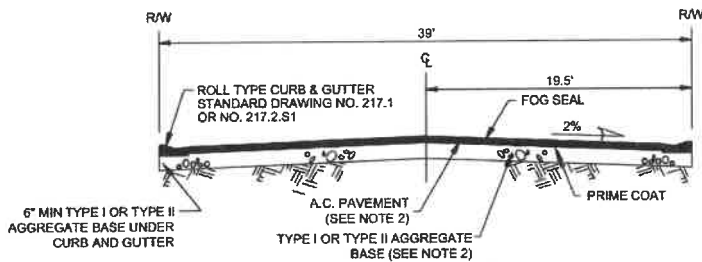


**PAVED**

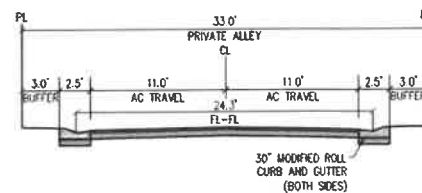
**Private Streets**



**Option B - R Curb**



**Option C - Roll Curb**



**Private Alley Section**

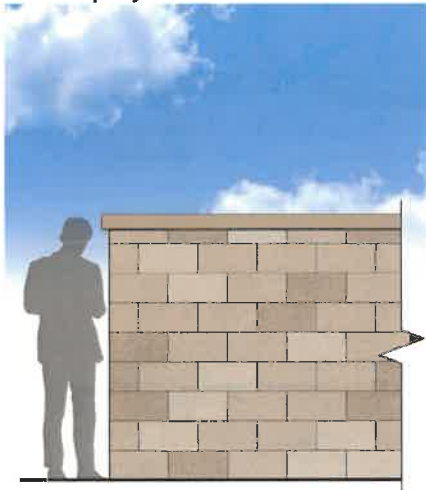
Roll Curb or other alternative curb options that enhance drainage, access, and/or aesthetics are appropriate for these street sections.

## DEVELOPMENT STANDARDS

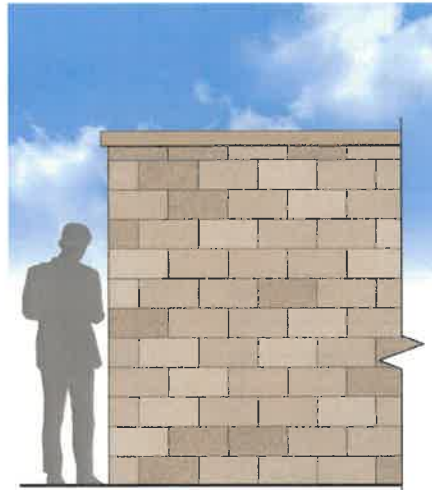
### Buffering and Screening Between Uses

Buffering intends to reduce the impacts of high intensity land uses from spreading into lower intensity areas. Moapa West contains multiple land uses that sit between the existing Moapa community, BLM land, railways, NDOT and the Muddy River and Meadow Valley Washes, stretching through more than 2,000 acres of land. The buffering and edge treatment between the proposed and existing land uses is a critical component of the project and will reference the Clark County Unified Development Code.

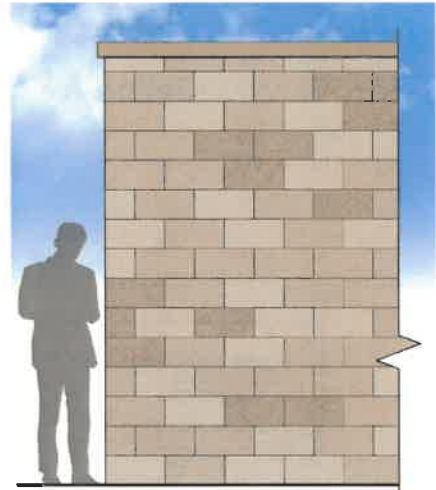
The following images are wall heights from 30.04.03 Fences and Walls of the CC UDC. This imagery is for reference only to show the relationship between buffers and land use and not intended to be a design guide for the project.



Residential: 6' Tall Wall



Commercial: 8' Tall Wall



Industrial: 10' Tall Wall

### Building Service Areas

When visible by residential or commercial sites, service and loading zones should be located to the rear, side or to an internal location where visibility from public streets will be minimized. Such areas shall be screened by the use of walls, landscaping, berms, or other techniques that will serve as both a visual and a noise barrier.

### Refuse Collection Areas

Refuse collection areas and dumpsters, compactors, or augers of sufficient size and number for the needs of the development shall be provided and located away from street frontages. These sites shall additionally be screened from view from rights-of-way, sidewalks and abutting properties with applicable walls when feasible.

### Buffering and Screening Standards

Where required, Buffering and screening measures shall consist of a 10' wide minimum landscape buffer accompanied by an 8' tall minimum screen wall. Industrial zoning districts may increase wall height to 10' maximum.



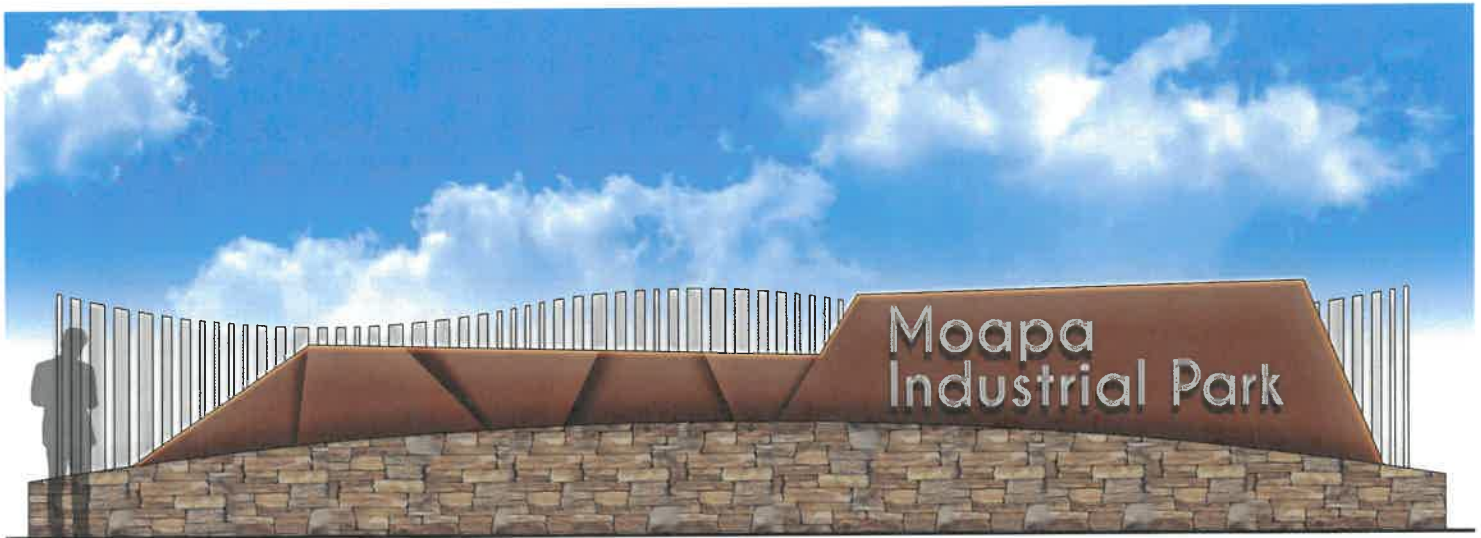
## DESIGN STANDARDS

### Character and Monumentation

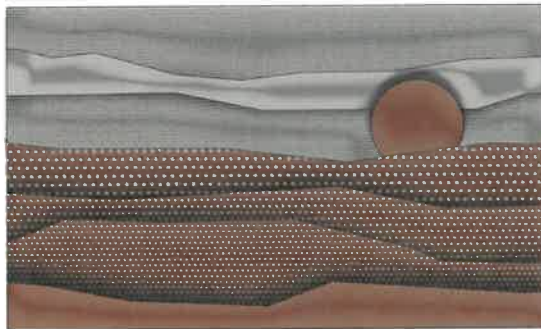
Materials form the backbone of a design. They shall be selected to strongly represent the desert aesthetic and formed to pay homage to the development's surroundings.

Warm stone, perforated steel, and rammed earth are strong selections and designs should reflect these initial choices. Each segment of the plan: Employment, Residential, and Commercial & Mixed Use possess their own unique site conditions and considerations that will affect the final look and feel of their individual design.

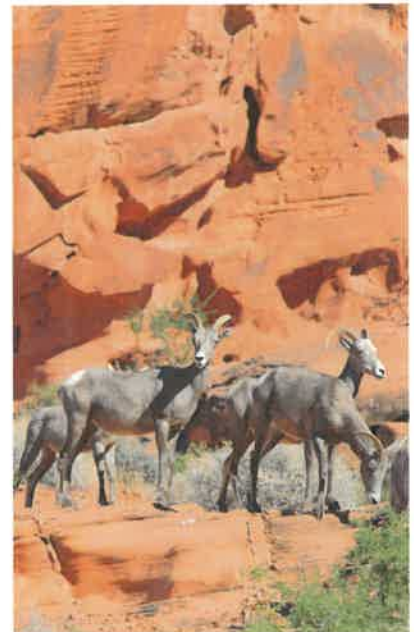
That said, each community will have a cohesive aesthetic that will match materials, colors and general forms to compliment the unified identity of the project.



Entry Monumentation shall pull inspiration from the dynamic environment of the surrounding desert. Strong forms from the mesas, warm earth tones from the native stone, and taking design cues from the local ecology.



This concept can be incorporated into key entry monumentation, threaded into the right-of-way of vehicular corridors, or be free standing art pieces to strengthen the character of the overall development.



## DESIGN STANDARDS

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### Industrial / Commercial Walls & Fences

#### Guidelines & Requirements

1. No persons, firm or corporation shall construct, or cause to be constructed or erected within the county any fence or wall without first securing a building permit for the fence or wall.
2. Every fence and/or wall shall be constructed in a substantial, workmanlike manner and of substantial material reasonably suited for the purpose for which the fence or wall is proposed to be used.
3. Fences and screen walls shall not exceed twelve (12) feet in overall height as measured from the tallest finish grade. Retaining walls may be a maximum of sixteen (16) feet as measured from the tallest finish grade.
4. All fences and walls shall be located entirely upon the private property of the persons, firms or corporations constructing, or causing the construction of, such fence or wall unless the owner of the adjoining property agrees, in writing, that such fence or wall may be erected on the division line of the respective properties.
5. On corners, no fence, wall or planting in excess of twenty-four (24) inches above the street centerline grade shall be permitted within Sight Visibility Triangles or Sight Distance Lines, referenced in the UDC CC Section 30.04.08G
6. Any fence or wall constructed so as to have only one elevation "finished," which shall be defined as not having its supporting members significantly visible or as having its decorative side visible, shall be erected such that the finished or decorative elevation of the fence or wall is exposed to the adjacent property. Exempt from this requirement are all internal common property line (i.e., rear and/or side yards that abut other rear and/or side yards) walls.

#### Outdoor Storage Yards

All materials, supplies, merchandise, equipment or similar items not on display for direct sale, rental or lease to the ultimate consumer or user, shall be stored within the confines of a one hundred (100) percent opaque wall, no less than six (6) feet tall.

When a boundary of a storage yard abuts a manmade barrier (e.g., a building) that creates a change in elevation of more than eight (8) feet between the storage yard and the adjacent property, screening is not required. However, any portion of the storage yard that is visible from any right-of-way or property not developed as a storage yard shall be screened in accordance with the provisions of this section.

#### Prohibited Materials

Unless otherwise approved as part of an overall development plan, the corrugated metal, plastic, or slats inserted into chain link fencing shall not be considered to be acceptable for use for either required or voluntary screening or perimeter walls. Razor wire or barbed wire are permitted only if approved as part of a special use permit.

#### Maintenance

Every fence or wall shall be maintained in a condition of reasonable repair by the property owner and shall not be allowed to become and remain in a condition of disrepair, damage or unsightliness, or constitute a public or private nuisance. Any such fence or wall that is or has become dangerous to the public safety, health or welfare, or has become unsightly through improper maintenance or neglect is a public nuisance.



## DESIGN STANDARDS

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### Residential Walls & Fences

#### Guidelines and Requirements

Screen walls and retaining walls shall not exceed twelve (12) feet in overall height, as measured from the tallest finish grade. Multiple walls may be used with a four (4) foot minimum horizontal separation to achieve additional retaining.

Where the subdivision abuts an arterial and/or collector street, a Community Theme wall shall be required. These walls are located along all major roadways within the community. Theme walls shall be masonry walls. Community Theme Walls shall be permitted along the perimeter of each residential subdivision, and are required adjacent to any commercial area. Block walls must utilize a painted finish or integrally colored blocks with architectural relief to the blocks. Theme Walls and fences shall be a minimum of (6) feet in height as measured from the tallest finish grade.

Secondary theme walls are permitted when any side or rear lot line is adjacent to any neighborhood street or internal common area that does not require a view wall. Walls located along these areas must utilize a View Wall or Fence (either full or partial). View fencing shall be constructed of square tubular steel with complimentary top and bottom rails. Steel shall be treated (e.g. powdercoat, etc.) to inhibit rusting or degradation of the steel.

If a fence or wall is utilized in an area between two public common spaces, a gate will be required to maintain pedestrian access. These gates shall be ADA compliant and adhere to the same design standards as a View Wall or Fence.

To maintain positive community views and avoid overly blocky masses of walls, Low Walls shall be utilized to separate or enclose certain spaces, or be used as a visual buffer for utilities such as air conditioners.

A courtyard wall is a low wall permitted in the front yard of individual residences. Courtyard walls may not exceed three (3) feet in height. Courtyard walls must be a masonry wall that adhere to the same design standards of the Community Theme Wall.

Rail Fencing, reminiscent of southwestern ranches, will be used where possible throughout the community to define open spaces, create edge conditions, and set the theme of the community. The rail fencing shall be a simple two or three rail system, painted a complimentary color to blend with the desert themed planting while reinforcing the rural character.

Mechanical equipment, such as A/C units, pool equipment, etc. must be screened from public view on all residential lots.

Utility boxes and other such structures taller than one (1) foot must be screened with landscaping, block walls, or custom steel fencing. Paint matching the immediate surrounding of the utility boxes is an allowed alternative to a wall or screen.

## DESIGN STANDARDS

### Residential Walls & Fences (cont.)

#### FULL WALLS

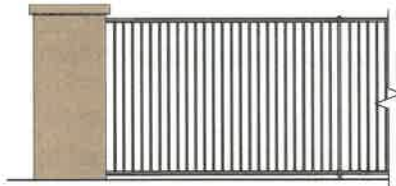


Community or Secondary Theme Wall

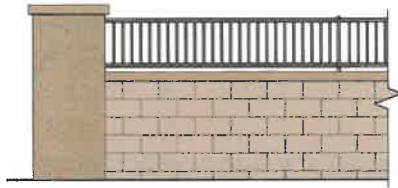


*Example of Community Theme Wall with Decorative Column.*

#### VIEW WALLS/FENCE



Full View Fence

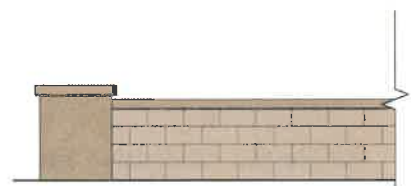


Partial View Wall (1/3 View)(2/3' Wall)



Partial View Wall (2/3 View)(1/3 Wall)

#### LOW WALLS



Courtyard Wall



Rail Fence



*Example of a Rail Fence with Decorative Column.*

### Permitted and Prohibited Materials

1. Permitted wall and monumentation materials and finishes include but are not limited to: CMU block, masonry brick, stucco, and powdercoated or finished (non corrosive) metal.
2. Corten steel may be used provided measures are taken to eliminate shedded rust or oxidized steel residue. A 3'-0" minimum buffer from pedestrian hardscape (sidewalks, plazas, playgrounds) must be noted in plans. This does not include steel header that does not present a tripping hazard to pedestrians (DG pathway borders, etc.)
3. Public facing CMU walls must be finished with paint, stucco, or an integral color. Gray CMU may be utilized provided there is an observable finish to the CMU face such as split face, founders finish, fluted, vertical scoring or like finishes/patterns. Unpainted, unfinished gray CMU walls are not permitted to face public areas. Gray CMU wall faces are permitted in private residences such as a backyard.
4. Chainlink and wood fencing is prohibited.



*An integral colored CMU smooth finish cap on top of a gray split face wall showing significant aggregate within the block. This style of gray block is acceptable.*



## DESIGN STANDARDS

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### North Village: Residential Walls & Fences

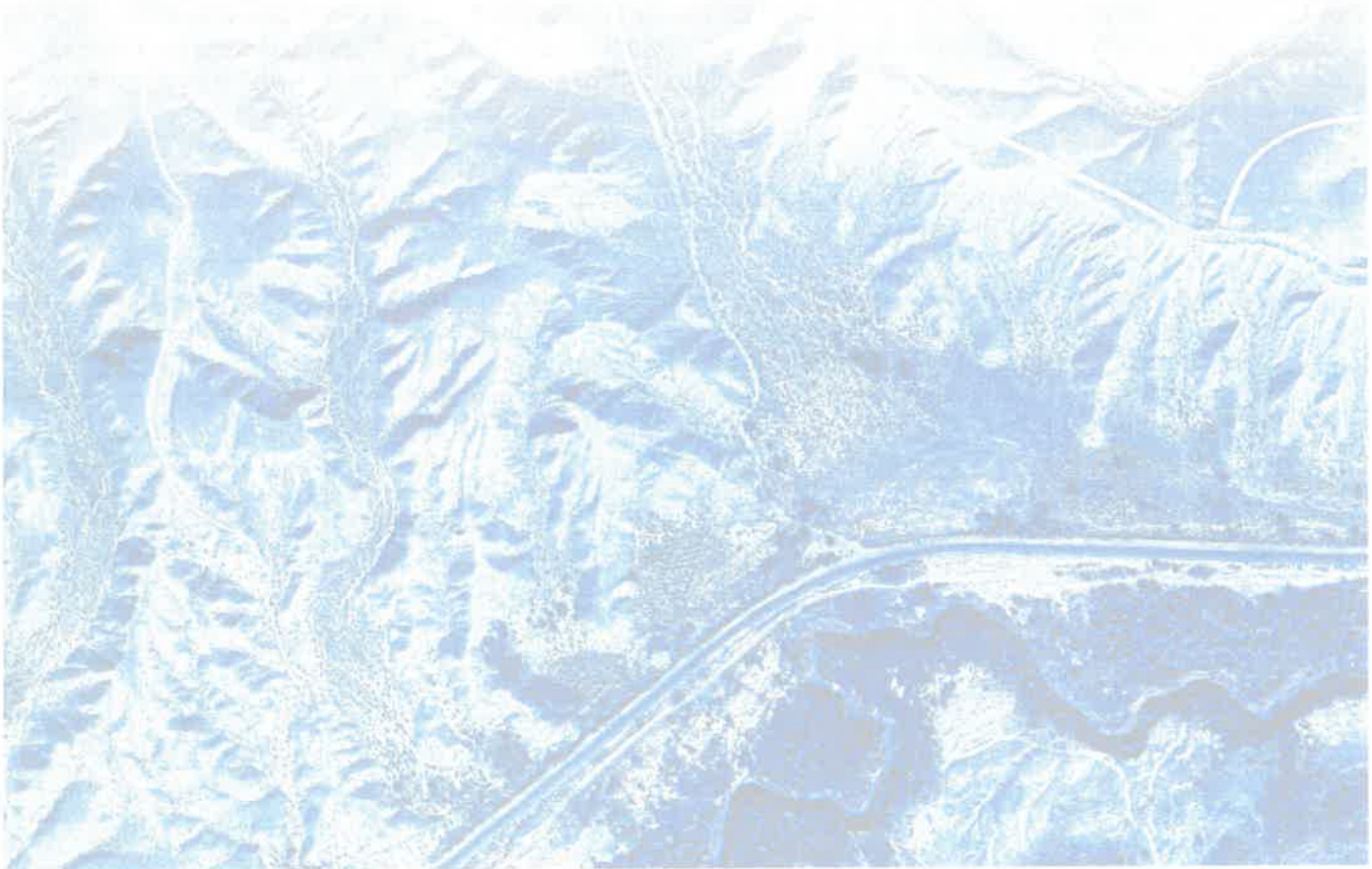
The North Village residential area of the Moapa West plan contains an established community defined by large multi-acre lots with a rural desert setting. New development in this area aims to work within the existing character of the site.

A thoughtful and cohesive wall program is important to the overall appearance of the community. Given the rural vision of the residential community, the walls will not be a major visual element. Walls will be minimized throughout the site to preserve views and the rural character.

Instead of relying upon screen walls or fences for rear yards and to define the edge conditions, view fencing and open rail fencing shall be used more predominately when possible. Solid block walls will be kept to a minimum, only allowing them when necessary for retaining and the occasional visual buffer. Such walls in the North Village Residential Community adjacent to existing communities shall be limited to 6'-0" in height.

Where walkways are located between residential lots, the retaining walls and fences along both sides of walkways must be located and designed to make the walkway appear as open and spacious as possible. Minimize continuous wall lengths through the use of low walls and rail fences along property lines to create a more expansive connection.

Wall materials may include decorative block, stucco, stone, brick and colored precision block. View fencing shall be constructed of square tubular steel with complimentary top and bottom rails. Partial View Walls or Full View Fences will be encouraged in the community as opposed to solid screen walls.



## DESIGN STANDARDS

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### Site Grading

Grading on the sight should provide for safe access and circulation. The development of the site should reflect, rather than obscure, the natural topography of the site through the use of various techniques such as smooth transition of grades at the property lines, blending of cut and fill slopes, and terracing.

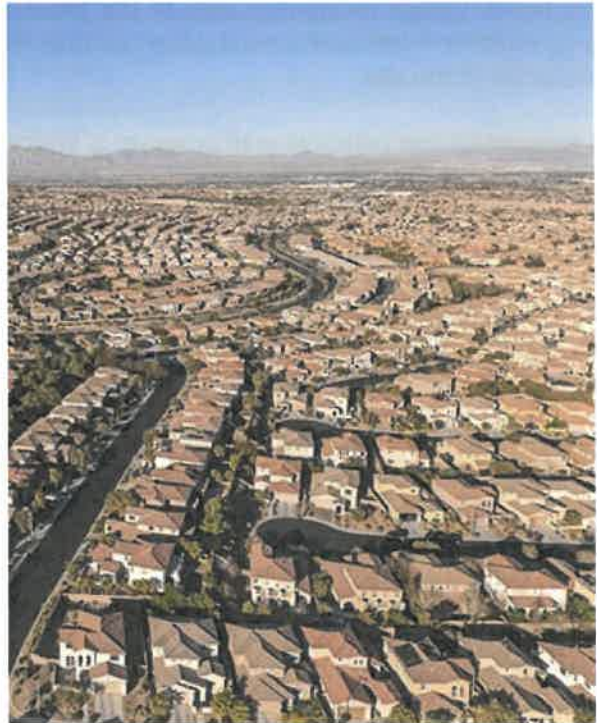
Where sloping is to be used for topographic transitions at the property edges, slopes shall comply with an approved geotechnical report.

### Natural Features

Where feasible, and when geotechnical conditions are favorable, natural features such as washes and existing vegetation should be retained in their natural state to the greatest extent possible and integrated into the design of the site.

### Drainage

In order to provide a more natural appearance and to provide for the stabilization of natural channels when technical conditions are favorable, drainage ways shall be lined with natural materials such as grass, rip rap, decomposed granite or other materials that enhance slope stabilization. Developments shall comply with Clark County regional flood control district hydrologic criteria and drainage design manual. The use of plain concrete for lining of drainageways is not encouraged and is permitted only as part of a flood control or stormwater management plan where applicable.



1. Flood control structures such as weirs, drop structures, etc., if utilized as part of the drainage way design, shall be faced with large natural rocks of an appropriate size where applicable.
2. When geotechnical conditions are favorable, on-site detention of storm water is approved and encouraged as a means of reducing stormwater runoff. Areas such as common areas and existing washes should be explored for this type of use. When detention basins are utilized, they must be integrated into the overall landscaping and site development plan of the proposed project. It is anticipated that rip rap or other non-concrete materials will be utilized for on-site detention of storm water.
3. Developers are encouraged to safely utilize washes and other natural features for aesthetic enhancement and passive recreation where applicable.



## DESIGN STANDARDS

### Landscape Requirements

A minimum of (1) large tree and (3) shrubs are required for every 30 linear feet of street frontage. There is an administrative route for an alternative landscape plan with (1) medium tree planted for every 20 linear feet or (1) small tree planted every 10 linear feet.

### Prohibited Planting

No tree shall be planted within 10 feet of any streetlight, as measured from the outer edge of the tree trunk at time of planting.

No tree shall be planted within any required sight zone per CC UDC Section 30.04.08G.

### Surface Material

Surface materials are non-vegetative ground covers that may include, but are not be limited to, rocks and small stones, crushed rock, cinders, and bark that cover the ground surface of the landscaped area. Typical applications are to protect slopes, prevent stormwater runoff, dust control and mulching around plants.



### Landscape Philosophy

Moapa sits within zones 9A and 9B of the USDA Hardiness Zone Map, meaning that selected landscape plants must be both heat-tolerant and drought-tolerant to withstand and thrive in the desert climate.

Streets will be lined with drought tolerant trees and shrubs to provide an enhanced experience for drivers and pedestrians. Trees will be selected for their utility: with special care paid to their ability to provide comfortable shade and provide minimal litter or maintenance concerns. Shrubs, groundcovers and accents will beautify the streetscape with a range of sizes and colors.

Landscaping standards shall reference the CC UDC and have plant selections from the Southern Nevada Water Authority & Southern Nevada Regional Planning Coalition's Regional Plant List.

### Maintenance

All landscaped areas and material shall be maintained in a living, growing condition, and shall be kept neat, clean, uncluttered and in a weed-free condition. Dead plant material shall be replaced with plant material of equal size and maturity.

No landscaped area shall be used for the parking of vehicles or the storage or display of materials, supplies or merchandise. Failure to maintain landscaping shall be cause for revocation of a business license and/or revocation of special use approval, or may result in enforcement or penalties otherwise available to the county.

### MINIMUM PLANT SPECIFICATIONS

Plant Type	Initial Size at Planting, Min.	Tree Canopy at Maturity, Min.
Trees (small)	1.5" caliper	Less than 134 sq/ft
Trees (medium)	2.0" caliper	134 sq/ft or greater
Trees (large)	2.5" caliper	More than 235 sq/ft and 30' tall min.
Evergreen Trees	6'-0" tall	--
Shrubs	60%: 5 gallon 40%: 1 gallon	--
Groundcover, ornamental grasses, annuals, and perennials	1 gallon	--

Caliper shall be measured 6 inches above ground level at time of planting.

Note:

Highlighted areas represent deviated standards to Clark County Title 30.

## DESIGN STANDARDS

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### Architectural Character & Materials

The purpose of these guidelines is not to constrain creative design of the Moapa West, but to ensure a cohesive environment that the employment, neighborhood, and commercial districts can share. Developers are encouraged to seek creative design solutions that compliment and add to the core aesthetic of the region.

#### Height, Bulk and Scale

1. Single, monolithic structures that lack a significant variety in form and articulation are discouraged. The perceived height and bulk of these type buildings shall be reduced by dividing the building mass into smaller scale components. Buildings must incorporate the use of color variations, jogs, offsets or other architectural features to reduce the visual length of long walls.

Buildings that are not warehouse, distribution center, or manufacturing facilities, building surfaces over two stories high or one hundred (100) feet in length must be relieved with a change of wall plane that provides strong shadow and visual interest. Variations in massing and a variety and/or variation in roof lines is strongly encouraged.

2. For manufacturing and warehouse type buildings, the length and height of walls must be relieved through the use of changes in color, materials and/or relief such as the inclusion of beltlines, pilasters, pop outs etc.

#### Exterior Materials and Finishes

1. Concrete, clay tile, asphalt, fiberglass, architectural metal or materials similar in appearance to concrete or clay tile should be used on all sloped roofs. Wood shingles and shakes are not acceptable in this environment.
2. Highly reflective, shiny or mirror-like materials and unplastered exposed standard concrete and standard concrete masonry units should not be used except as accents if deemed appropriate.
3. Restraint should be used in the number of different materials and colors selected. Simplicity of patterns is desired.
4. Simulated materials and building systems that provide a look that is similar to preferred materials (e.g. concrete, IMP, stone, stucco, colored or exposed aggregate or textured finish concrete, decorative block and brick, stone veneer) are also be acceptable.



## DESIGN STANDARDS

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### Architectural Character & Materials (cont.)

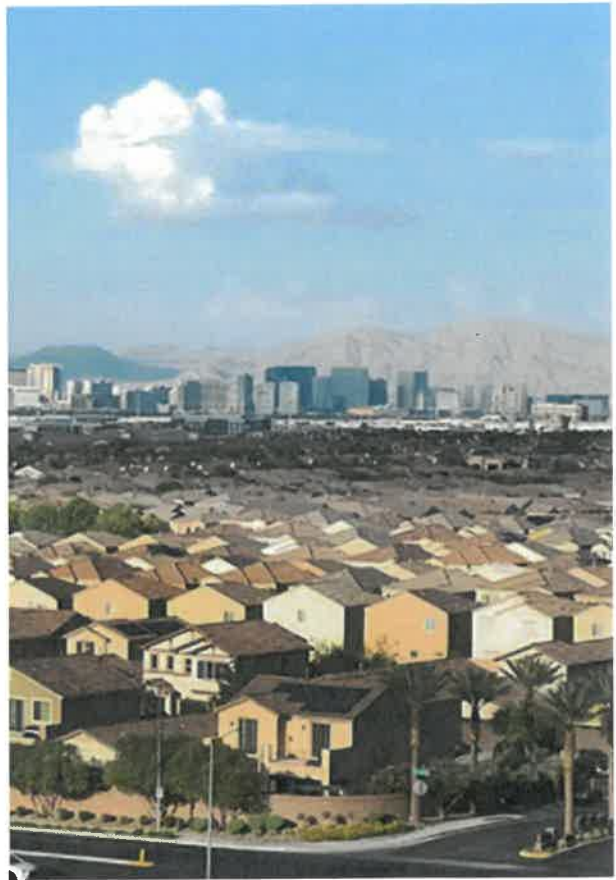
#### Coherent Design

1. All sides of a principal building shall have a consistent level of detailing and finish when viewed from public rights-of-way.
2. Accessory structures shall take on the character of the main building, using the same colors, materials and style.
3. Any building design that utilizes a flat roof shall incorporate a parapet wall and/or cornice element on all sides of the roof.

#### Building Facade

Building design shall incorporate patterns and materials that provide visual interest. Flat, plain building walls are not desirable and are strongly discouraged. This shall be accomplished through the use of changes in color, materials and/or relief such as the inclusion of beltlines, pilasters, pop outs etc.

1. There should be a contrast in size of solid area to window area. In general there should be more wall than window. Office or retail portions of the building shall incorporate features such as windows, awnings, and arcades into each façade that faces a public street.
2. In order to provide visual interest and reduce energy consumption, windows and large areas of glass should be recessed in shadow or otherwise contrast with the building facade.







Phelps Engineering Services  
3275 S Jones Blvd,  
Suite 104  
Las Vegas, NV 89146

**April 23, 2025**

Clark County Comprehensive Planning  
500 S Grand Central Pkwy #1  
Las Vegas, NV 89155

Moapa West presents an opportunity to expand the existing community through thoughtful development, which will have a significant positive impact on the local economy.

Today Moapa is a rural bedroom community within Clark County that boasts economic potential and ecological splendor. The transportation infrastructure of I-15 and railroads, coupled with its close proximity to Las Vegas makes Moapa an ideal site for industrial development. The desert environment with far horizons and Valley of Fire State Park makes this area unique in its natural beauty.

The Moapa West plan will grow the community by focusing on industrial development with residential and commercial areas designed to support the community. Planned growth will rely on carefully phased master planning that lets these three core land uses: industrial, residential, and commercial / entertainment mixed use to be developed in a manner that supports all three pillars.

The natural character of Moapa is a strong quality of the region. Native desert and geologic formations have been carved out by the waterways and washes that embody the region. These features, such as the Muddy River and Meadow Valley Wash, are critical to the project and will be protected and preserved through thoughtful water planning.

Moapa West plans will capitalize on the opportunity to sustainably grow Moapa while protecting and respecting the rural character that makes it unique.

The combined area for the Moapa West project consists of ~2064.2 acres of land, and the breakdown of existing and proposed Planned Land Uses are listed below:

<b>Planned Land Use</b>	<b>Existing Area</b>	<b>Proposed Area</b>
Outlying Neighborhood	126.2 ac: (6.2%)	0 ac: (0%)
Edge Neighborhood	182.2 ac: (8.9%)	0 ac: (0%)
Ranch Estate Neighborhood	157.9 ac: (7.7%)	11.8 ac: (0.6%)
Low-Intensity Suburban Neighborhood	96.4 ac: (4.7%)	96.4 ac: (4.7%)
Mid-Intensity Suburban Neighborhood	342.8 ac: (16.7%)	628.1 ac: (30.7%)
Neighborhood Commercial	18 ac: (0.9%)	18 ac: (0.9%)
Corridor Mixed-Use	194.3 ac: (9.5%)	37.3 ac: (1.8%)
Entertainment Mixed-Use:	147.5 ac: (7.2%)	112.2 ac: (5.5%)
Business Employment	278.1 ac: (13.6%)	986.8 ac: (48.2%)
Agriculture	502.8 ac: (24.6%)	0 ac: (0%)
Open Lands	0.6 ac: (0.0%)	156.1 ac: (7.6%)

Due to the large and complex development project, Moapa West is applying for a Concept Specific Plan (MPC), and ultimately Specific Plan (MPS) through Clark County.

Along with this justification letter, the application contents for this project include the draft concept specific plan exhibits, phasing plans, general development and design standards, compiled application forms, and compiled deeds.

If you have any questions or concerns regarding this submittal, please do not hesitate to contact me.

Thank you,  
Devin Perry, RLA  
Planning Manager  
Phelps Engineering Services  
[dperry@phelpsengineering.net](mailto:dperry@phelpsengineering.net)  
(775)-462-9919





## Department of Comprehensive Planning Application Form

ASSESSOR PARCEL #(s): 03132601004

PROPERTY ADDRESS/ CROSS STREETS: 407 Hidden Valley Rd

### DETAILED SUMMARY PROJECT DESCRIPTION

Moapa West: Concept Specific Plan

### PROPERTY OWNER INFORMATION

NAME: Choo Choo Two LLC

ADDRESS: 3275 So Jones Blvd Suite 104

CITY: Las Vegas

STATE: NV

ZIP CODE: 89146

TELEPHONE: \_\_\_\_\_

CELL 702-528-1100

EMAIL: randelsr@encorecre.com

### APPLICANT INFORMATION (must match online record)

NAME: Phelps Engineering Services, Inc.

ADDRESS: 3275 S Jones Blvd, Suite 104

CITY: Las Vegas

STATE: NV

ZIP CODE: 89146

REF CONTACT ID # \_\_\_\_\_

TELEPHONE: 775.462.9919

CELL \_\_\_\_\_

EMAIL: dperry@phelpsengineering.net

### CORRESPONDENT INFORMATION (must match online record)

NAME: Land Development Associates, LLC

ADDRESS: 7201 W Lake Mead Blvd, Ste 245

CITY: Las Vegas

STATE: NV

ZIP CODE: 89128

REF CONTACT ID # \_\_\_\_\_

TELEPHONE: 702.643.4940

CELL \_\_\_\_\_

EMAIL: dbrown@ldalv.com

\*Correspondent will receive all communication on submitted application(s).

(I, We) the undersigned swear and say that (I am, We are) the owner(s) of record on the Tax Rolls of the property involved in this application, or (am, are) otherwise qualified to initiate this application under Clark County Code; that the information on the attached legal description, all plans, and drawings attached hereto, and all the statements and answers contained herein are in all respects true and correct to the best of my knowledge and belief, and the undersigned understands that this application must be complete and accurate before a hearing can be conducted. (I, We) also authorize the Clark County Comprehensive Planning Department, or its designee, to enter the premises and to install any required signs on said property for the purpose of advising the public of the proposed application.

Digitized by

Randy W Aleman

Property Owner (Signature)\*

Randel W Aleman

Property Owner (Print)

9/25/2024

Date

#### DEPARTMENT USE ONLY:

☐ AC

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OTHER MPC

APPLICATION # (s) \_\_\_\_\_

ACCEPTED BY \_\_\_\_\_

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# Department of Comprehensive Planning Application Form

ASSESSOR PARCEL #(s): 03129701001, 03129801001, 03132501002, 03132601002, 03132601005

PROPERTY ADDRESS/ CROSS STREETS: N/A

## DETAILED SUMMARY PROJECT DESCRIPTION

Moapa West: Concept Specific Plan

## PROPERTY OWNER INFORMATION

NAME: Choo Choo Express LLC  
ADDRESS: 3275 So Jones Blvd Suite 104  
CITY: Las Vegas STATE: NV ZIP CODE: 89146  
TELEPHONE: CELL 702-528-1100 EMAIL: randelsr@encorecre.com

## APPLICANT INFORMATION (must match online record)

NAME: Phelps Engineering Services, Inc.  
ADDRESS: 3275 S Jones Blvd, Suite 104  
CITY: Las Vegas STATE: NV ZIP CODE: 89146 REF CONTACT ID #  
TELEPHONE: 775.462.9919 CELL EMAIL: dperry@phelpsengineering.net

## CORRESPONDENT INFORMATION (must match online record)

NAME: Land Development Associates, LLC  
ADDRESS: 7201 W Lake Mead Blvd, Ste 245  
CITY: Las Vegas STATE: NV ZIP CODE: 89128 REF CONTACT ID #  
TELEPHONE: 702.643.4940 CELL EMAIL: dbrown@ldalv.com

\*Correspondent will receive all communication on submitted application(s).

(I, We) the undersigned swear and say that (I am, We are) the owner(s) of record on the Tax Rolls of the property involved in this application, or (am, are) otherwise qualified to initiate this application under Clark County Code; that the information on the attached legal description, all plans, and drawings attached hereto, and all the statements and answers contained herein are in all respects true and correct to the best of my knowledge and belief, and the undersigned understands that this application must be complete and accurate before a hearing can be conducted. (I, We) also authorize the Clark County Comprehensive Planning Department, or its designee, to enter the premises and to install any required signs on said property for the purpose of advising the public of the proposed application.

Undersigned by:  
*Randy W Aleman*  
Property Owner (Signature)\*

Randel W Aleman  
Property Owner (Print)

9/25/2024  
Date

## DEPARTMENT USE ONLY:

<input type="checkbox"/> AC	<input type="checkbox"/> AR	<input type="checkbox"/> ET	<input type="checkbox"/> PUDD	<input type="checkbox"/> SN	<input type="checkbox"/> UC	<input type="checkbox"/> WS
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APPLICATION # (s)

ACCEPTED BY

PC MEETING DATE

DATE

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FEES

TAB/CAC LOCATION

DATE



## Department of Comprehensive Planning Application Form

ASSESSOR PARCEL #(s): 04209000003

PROPERTY ADDRESS/ CROSS STREETS: N/A

### DETAILED SUMMARY PROJECT DESCRIPTION

**Moapa West: Concept Specific Plan**

### PROPERTY OWNER INFORMATION

NAME: GMTN York LLC

ADDRESS: 4129 W Cheyenne Ave.

CITY: North Las Vegas

STATE: NV

ZIP CODE: 89032

TELEPHONE: 702.644.1117

CELL 702.416.0104

EMAIL: koesterling@wscilv.com

### APPLICANT INFORMATION (must match online record)

NAME: Phelps Engineering Services, Inc.

ADDRESS: 3275 S Jones Blvd, Suite 104

CITY: Las Vegas

STATE: NV

ZIP CODE: 89146

REF CONTACT ID # \_\_\_\_\_

TELEPHONE: 775.462.9919

CELL \_\_\_\_\_

EMAIL: dperry@phelpsengineering.net

### CORRESPONDENT INFORMATION (must match online record)

NAME: Land Development Associates, LLC

ADDRESS: 7201 W Lake Mead Blvd, Ste 245

CITY: Las Vegas

STATE: NV

ZIP CODE: 89128

REF CONTACT ID # \_\_\_\_\_

TELEPHONE: 702.643.4940

CELL \_\_\_\_\_

EMAIL: dbrown@ldalv.com

**\*Correspondent will receive all communication on submitted application(s).**

(I, We) the undersigned swear and say that (I am, We are) the owner(s) of record on the Tax Rolls of the property involved in this application, or (am, are) otherwise qualified to initiate this application under Clark County Code; that the information on the attached legal description, all plans, and drawings attached hereto, and all the statements and answers contained herein are in all respects true and correct to the best of my knowledge and belief, and the undersigned and understands that this application must be complete and accurate before a hearing can be conducted. (I, We) also authorize the Clark County Comprehensive Planning Department, or its designee, to enter the premises and to install any required signs on said property for the purpose of advising the public of the proposed application.

  
Property Owner (Signature)\*

Weston Adams

Property Owner (Print)

09/26/24  
Date

### DEPARTMENT USE ONLY:

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OTHER MPC

APPLICATION # (s) \_\_\_\_\_

ACCEPTED BY \_\_\_\_\_

PC MEETING DATE \_\_\_\_\_

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DATE \_\_\_\_\_





## Department of Comprehensive Planning Application Form

ASSESSOR PARCEL #(s): 042-02-101-015

PROPERTY ADDRESS/ CROSS STREETS: N/A

### DETAILED SUMMARY PROJECT DESCRIPTION

MOAPA WEST: CONCEPT SPECIFIC PLAN

### PROPERTY OWNER INFORMATION

NAME: CRC HOMES LLC  
ADDRESS: 8984 SPANISH RIDGE AVE  
CITY: LAS VEGAS STATE: NV ZIP CODE: 89148  
TELEPHONE: \_\_\_\_\_ CELL: \_\_\_\_\_ EMAIL: \_\_\_\_\_

### APPLICANT INFORMATION (must match online record)

NAME: PHELPS ENGINEERING SERVICES, INC  
ADDRESS: 3275 S. JONES BLVD SUITE 104  
CITY: LAS VEGAS STATE: NV ZIP CODE: 89146 REF CONTACT ID # \_\_\_\_\_  
TELEPHONE: 775-462-9919 CELL: \_\_\_\_\_ EMAIL: DPERRY@PHELPSENGINEERING.NET

### CORRESPONDENT INFORMATION (must match online record)

NAME: LAND DEVELOPMENT ASSOCIATES, LLC  
ADDRESS: 7201 W LAKE MEAD BLVD, STE 245  
CITY: LAS VEGAS STATE: NV ZIP CODE: 89128 REF CONTACT ID # \_\_\_\_\_  
TELEPHONE: 702-643-4940 CELL: \_\_\_\_\_ EMAIL: DBROWN@LDALV.COM

\*Correspondent will receive all communication on submitted application(s).

(I, We) the undersigned swear and say that (I am, We are) the owner(s) of record on the Tax Rolls of the property involved in this application, or (am, are) otherwise qualified to initiate this application under Clark County Code; that the information on the attached legal description, all plans, and drawings attached hereto, and all the statements and answers contained herein are in all respects true and correct to the best of my knowledge and belief, and the undersigned understands that this application must be complete and accurate before a hearing can be conducted. (I, We) also authorize the Clark County Comprehensive Planning Department, or its designee, to enter the premises and to install any required signs on said property for the purpose of advising the public of the proposed application.

[Signature]  
Property Owner (Signature)\*

RANDY MILLER  
Property Owner (Print)

10/16/2024  
Date

### DEPARTMENT USE ONLY:

AC	AR	ET	PUDD	SN	UC	WS
ADR	AV	PA	SC	TC	VS	ZC
AG	DR	PUD	SDR	TM	WC	OTHER _____

APPLICATION # (s) \_\_\_\_\_

ACCEPTED BY \_\_\_\_\_

PC MEETING DATE \_\_\_\_\_

DATE \_\_\_\_\_

BCC MEETING DATE \_\_\_\_\_

FEES \_\_\_\_\_

TAB/CAC LOCATION \_\_\_\_\_

DATE \_\_\_\_\_



# Department of Comprehensive Planning Application Form

ASSESSOR PARCEL #(s): 04202101001

PROPERTY ADDRESS/ CROSS STREETS: 1701 E STATE HWY 168

## DETAILED SUMMARY PROJECT DESCRIPTION

Moapa West: Concept Specific Plan

## PROPERTY OWNER INFORMATION

NAME: Main Street Moapa LLC

ADDRESS: 1701 E State Hwy 168

CITY: Moapa

STATE: NV

ZIP CODE: 89025

TELEPHONE: CELL 702-528-1120 EMAIL: randelsr@encorecre.com

## APPLICANT INFORMATION (must match online record)

NAME: Phelps Engineering Services, Inc.

ADDRESS: 3275 S Jones Blvd, Suite 104

CITY: Las Vegas

STATE: NV

ZIP CODE: 89146

REF CONTACT ID #

TELEPHONE: 775.462.9919 CELL EMAIL: dperry@phelpsenengineering.net

## CORRESPONDENT INFORMATION (must match online record)

NAME: Land Development Associates, LLC

ADDRESS: 7201 W Lake Mead Blvd, Ste 245

CITY: Las Vegas

STATE: NV

ZIP CODE: 89128

REF CONTACT ID #

TELEPHONE: 702.643.4940 CELL EMAIL: dbrown@ldalv.com

\*Correspondent will receive all communication on submitted application(s).

(I, We) the undersigned swear and say that (I am, We are) the owner(s) of record on the Tax Rolls of the property involved in this application, or (am, are) otherwise qualified to initiate this application under Clark County Code; that the information on the attached legal description, all plans, and drawings attached hereto, and all the statements and answers contained herein are in all respects true and correct to the best of my knowledge and belief, and the undersigned and understands that this application must be complete and accurate before a hearing can be conducted. (I, We) also authorize the Clark County Comprehensive Planning Department, or its designee, to enter the premises and to install any required signs on said property for the purpose of advising the public of the proposed application.

DocuSigned by:

Randy W Aleman

Randel W Aleman

3/14/2025

Property Owner (Signature)\*

Property Owner (Print)

Date

## DEPARTMENT USE ONLY:

<input type="checkbox"/> AC	<input type="checkbox"/> AR	<input type="checkbox"/> ET	<input type="checkbox"/> PUDD	<input type="checkbox"/> SN	<input type="checkbox"/> UC	<input type="checkbox"/> WS
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APPLICATION # (s)

ACCEPTED BY

PC MEETING DATE

DATE

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FEES

TAB/CAC LOCATION

DATE



# Department of Comprehensive Planning Application Form

ASSESSOR PARCEL #(s): 03132701006, 03132801005, 03132801006

PROPERTY ADDRESS/ CROSS STREETS: N/A

## DETAILED SUMMARY PROJECT DESCRIPTION

Moapa West: Concept Specific Plan

## PROPERTY OWNER INFORMATION

NAME: Hidden Valley Rail LLC

ADDRESS: 5454 Arville St

CITY: Las Vegas

STATE: NV

ZIP CODE: 89118

TELEPHONE: 702-364-5000

CELL

EMAIL: ryanw@dielcocrane.com

## APPLICANT INFORMATION (must match online record)

NAME: Phelps Engineering Services, Inc.

ADDRESS: 3275 S Jones Blvd, Suite 104

CITY: Las Vegas

STATE: NV

ZIP CODE: 89146

REF CONTACT ID #

TELEPHONE: 775.462.9919

CELL

EMAIL: dperry@phelpsengineering.net

## CORRESPONDENT INFORMATION (must match online record)

NAME: Land Development Associates, LLC

ADDRESS: 7201 W Lake Mead Blvd, Ste 245

CITY: Las Vegas

STATE: NV

ZIP CODE: 89128

REF CONTACT ID #

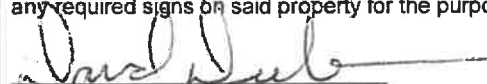
TELEPHONE: 702.643.4940

CELL

EMAIL: dbrown@ldalv.com

\*Correspondent will receive all communication on submitted application(s).

(I, We) the undersigned swear and say that (I am, We are) the owner(s) of record on the Tax Rolls of the property involved in this application, or (am, are) otherwise qualified to initiate this application under Clark County Code; that the information on the attached legal description, all plans, and drawings attached hereto, and all the statements and answers contained herein are in all respects true and correct to the best of my knowledge and belief, and the undersigned and understands that this application must be complete and accurate before a hearing can be conducted. (I, We) also authorize the Clark County Comprehensive Planning Department, or its designee, to enter the premises and to install any required signs on said property for the purpose of advising the public of the proposed application.

  
Property Owner (Signature)\*

David J. Dieleman

Property Owner (Print)

10/21/2024

Date

## DEPARTMENT USE ONLY:

☐ AC

☐ AR

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☐ PUDD

☐ SN

☐ UC

☐ WS

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OTHER MPC

APPLICATION # (s)

ACCEPTED BY

PC MEETING DATE

DATE

BCC MEETING DATE

FEES

TAB/CAC LOCATION

DATE





# Department of Comprehensive Planning Application Form

ASSESSOR PARCEL #(s): 04201101007, 04201201001, 04201301002, 04201301003, 04202201001, 04202201008, 04202601005, 04212000004, 04212000008, 04212000009

PROPERTY ADDRESS/ CROSS STREETS: N/A

## DETAILED SUMMARY PROJECT DESCRIPTION

Moapa West: Concept Specific Plan

## PROPERTY OWNER INFORMATION

NAME: Moapa Mission LLC  
ADDRESS: 8461 W Farm Road Suite 120-240  
CITY: Las Vegas STATE: NV ZIP CODE: 89134  
TELEPHONE: CELL 702-280-5761 EMAIL: william.bayne@gmail.com

## APPLICANT INFORMATION (must match online record)

NAME: Phelps Engineering Services, Inc.  
ADDRESS: 3275 S Jones Blvd, Suite 104  
CITY: Las Vegas STATE: NV ZIP CODE: 89146 REF CONTACT ID #  
TELEPHONE: 775.462.9919 CELL EMAIL: dperry@phelpsenengineering.net

## CORRESPONDENT INFORMATION (must match online record)

NAME: Land Development Associates, LLC  
ADDRESS: 7201 W Lake Mead Blvd, Ste 245  
CITY: Las Vegas STATE: NV ZIP CODE: 89128 REF CONTACT ID #  
TELEPHONE: 702.643.4940 CELL EMAIL: dbrown@ldalv.com

\*Correspondent will receive all communication on submitted application(s).

(I, We) the undersigned swear and say that (I am, We are) the owner(s) of record on the Tax Rolls of the property involved in this application, or (am, are) otherwise qualified to initiate this application under Clark County Code; that the information on the attached legal description, all plans, and drawings attached hereto, and all the statements and answers contained herein are in all respects true and correct to the best of my knowledge and belief, and the undersigned understands that this application must be complete and accurate before a hearing can be conducted. (I, We) also authorize the Clark County Comprehensive Planning Department, or its designee, to enter the premises and to install any required signs on said property for the purpose of advising the public of the proposed application.

  
Property Owner (Signature)\*

Todd S. Larkin  
Property Owner (Print)

10/02/2024  
Date

## DEPARTMENT USE ONLY:

<input type="checkbox"/> AC	<input type="checkbox"/> AR	<input type="checkbox"/> ET	<input type="checkbox"/> PUDD	<input type="checkbox"/> SN	<input type="checkbox"/> UC	<input type="checkbox"/> WS
<input type="checkbox"/> ADR	<input type="checkbox"/> AV	<input type="checkbox"/> PA	<input type="checkbox"/> SC	<input type="checkbox"/> TC	<input type="checkbox"/> VS	<input type="checkbox"/> ZC
<input type="checkbox"/> AG	<input type="checkbox"/> DR	<input type="checkbox"/> PUD	<input type="checkbox"/> SDR	<input type="checkbox"/> TM	<input type="checkbox"/> WC	OTHER MPC

APPLICATION # (s)

ACCEPTED BY

PC MEETING DATE

DATE

BCC MEETING DATE

FEES

TAB/CAC LOCATION

DATE



## Department of Comprehensive Planning Application Form

ASSESSOR PARCEL #(s): 03132701007

PROPERTY ADDRESS/ CROSS STREETS: N/A

### DETAILED SUMMARY PROJECT DESCRIPTION

**Moapa West: Concept Specific Plan**

### PROPERTY OWNER INFORMATION

NAME: Moapa Industries I LLC

ADDRESS: 3275 So Jones Blvd Suite 104

CITY: Las Vegas

STATE: NV

ZIP CODE: 89146

TELEPHONE: randelsr@encore CELL 702-528-1100

EMAIL: randelsr@encorecre.com

### APPLICANT INFORMATION (must match online record)

NAME: Phelps Engineering Services, Inc.

ADDRESS: 3275 S Jones Blvd, Suite 104

CITY: Las Vegas

STATE: NV

ZIP CODE: 89146

REF CONTACT ID # \_\_\_\_\_

TELEPHONE: 775.462.9919

CELL \_\_\_\_\_

EMAIL: dperry@phelpsengineering.net

### CORRESPONDENT INFORMATION (must match online record)

NAME: Land Development Associates, LLC

ADDRESS: 7201 W Lake Mead Blvd, Ste 245

CITY: Las Vegas

STATE: NV

ZIP CODE: 89128

REF CONTACT ID # \_\_\_\_\_

TELEPHONE: 702.643.4940

CELL \_\_\_\_\_

EMAIL: dbrown@ldahv.com

**\*Correspondent will receive all communication on submitted application(s).**

(I, We) the undersigned swear and say that (I am, We are) the owner(s) of record on the Tax Rolls of the property involved in this application, or (am, are) otherwise qualified to initiate this application under Clark County Code; that the information on the attached legal description, all plans, and drawings attached hereto, and all the statements and answers contained herein are in all respects true and correct to the best of my knowledge and belief, and the undersigned and understands that this application must be complete and accurate before a hearing can be conducted. (I, We) also authorize the Clark County Comprehensive Planning Department, or its designee, to enter the premises and to install any required signs on said property for the purpose of advising the public of the proposed application.

OnSigned by:  
Randy W Aleman

Property Owner (Signature)\*

Randel W Aleman

Property Owner (Print)

9/25/2024

Date

#### DEPARTMENT USE ONLY:

☐ AC

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OTHER MPC

APPLICATION # (s) \_\_\_\_\_

ACCEPTED BY \_\_\_\_\_

PC MEETING DATE \_\_\_\_\_

DATE \_\_\_\_\_

BCC MEETING DATE \_\_\_\_\_

FEES \_\_\_\_\_

TAB/CAC LOCATION \_\_\_\_\_

DATE \_\_\_\_\_



## Department of Comprehensive Planning Application Form

ASSESSOR PARCEL #(s): 03135801004, 04202501007

PROPERTY ADDRESS/ CROSS STREETS: N/A

### DETAILED SUMMARY PROJECT DESCRIPTION

Moapa West: Concept Specific Plan

### PROPERTY OWNER INFORMATION

NAME: Moapa Town Center LLC

ADDRESS: 4129 W Cheyenne Ave.

CITY: North Las Vegas

STATE: NV

ZIP CODE: 89032

TELEPHONE: 702.644.1117

CELL 702.416.0104

EMAIL: koesterling@wscilv.com

### APPLICANT INFORMATION (must match online record)

NAME: Phelps Engineering Services, Inc.

ADDRESS: 3275 S Jones Blvd, Suite 104

CITY: Las Vegas

STATE: NV

ZIP CODE: 89146

REF CONTACT ID # \_\_\_\_\_

TELEPHONE: 775.462.9919

CELL \_\_\_\_\_

EMAIL: dperry@phelpsenengineering.net

### CORRESPONDENT INFORMATION (must match online record)

NAME: Land Development Associates, LLC

ADDRESS: 7201 W Lake Mead Blvd, Ste 245

CITY: Las Vegas

STATE: NV

ZIP CODE: 89128

REF CONTACT ID # \_\_\_\_\_

TELEPHONE: 702.643.4940

CELL \_\_\_\_\_

EMAIL: dbrown@ldalv.com

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Property Owner (Signature)\*

Weston Adams  
Property Owner (Print)

09/26/24  
Date

### DEPARTMENT USE ONLY:

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☐ AV

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OTHER MPC

APPLICATION # (s) \_\_\_\_\_

ACCEPTED BY \_\_\_\_\_

PC MEETING DATE \_\_\_\_\_

DATE \_\_\_\_\_

BCC MEETING DATE \_\_\_\_\_

FEES \_\_\_\_\_

TAB/CAC LOCATION \_\_\_\_\_

DATE \_\_\_\_\_





## Department of Comprehensive Planning Application Form

ASSESSOR PARCEL #(s): 03116000002, 03116000002, 03122101001, 03122101002, 03122101003, 03122101004, 03122101005, 03122201002, 03122201003, 03122201004, 03122201005

03122201006, 03122201013, 03122401014, 03122401015, 03122401027, 03122401028, 03122401029, 03122401030, 03122601003, 03122701001, 03122801001

PROPERTY ADDRESS/ CROSS STREETS: N/A

### DETAILED SUMMARY PROJECT DESCRIPTION

**Moapa West: Concept Specific Plan**

### PROPERTY OWNER INFORMATION

NAME: Moapa North Village LLC

ADDRESS: 3275 So Jones Blvd Suite 104

CITY: Las Vegas

STATE: NV

ZIP CODE: 89146

TELEPHONE: randelsr@encore CELL 702-528-1100

EMAIL: randelsr@encorecre.com

### APPLICANT INFORMATION (must match online record)

NAME: Phelps Engineering Services, Inc.

ADDRESS: 3275 S Jones Blvd, Suite 104

CITY: Las Vegas

STATE: NV

ZIP CODE: 89146

REF CONTACT ID # \_\_\_\_\_

TELEPHONE: 775.462.9919 CELL \_\_\_\_\_

EMAIL: dperry@phelpsengineering.net

### CORRESPONDENT INFORMATION (must match online record)

NAME: Land Development Associates, LLC

ADDRESS: 7201 W Lake Mead Blvd, Ste 245

CITY: Las Vegas

STATE: NV

ZIP CODE: 89128

REF CONTACT ID # \_\_\_\_\_

TELEPHONE: 702.643.4940 CELL \_\_\_\_\_

EMAIL: dbrown@ldalv.com

\*Correspondent will receive all communication on submitted application(s).

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Digitally signed by:  
Randel W Aleman

Property Owner (Signature)\*

Randel W Aleman

Property Owner (Print)

9/25/2024

Date

#### DEPARTMENT USE ONLY:

☐ AC

☐ AR

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☐ SN

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OTHER MPC

APPLICATION # (s) \_\_\_\_\_

ACCEPTED BY \_\_\_\_\_

PC MEETING DATE \_\_\_\_\_

DATE \_\_\_\_\_

BCC MEETING DATE \_\_\_\_\_

FEES \_\_\_\_\_

TAB/CAC LOCATION \_\_\_\_\_

DATE \_\_\_\_\_



## Department of Comprehensive Planning Application Form

ASSESSOR PARCEL #(s): 04201101001, 04201101002, 04201101004, 04201101009

PROPERTY ADDRESS/ CROSS STREETS: N/A

### DETAILED SUMMARY PROJECT DESCRIPTION

Moapa West: Concept Specific Plan

### PROPERTY OWNER INFORMATION

NAME: MV Exit 91 LLC  
ADDRESS: 4129 W Cheyenne Ave.  
CITY: North Las Vegas STATE: NV ZIP CODE: 89032  
TELEPHONE: 702.644.1117 CELL 702.416.0104 EMAIL: koesterling@wscilv.com

### APPLICANT INFORMATION (must match online record)

NAME: Phelps Engineering Services, Inc.  
ADDRESS: 3275 S Jones Blvd, Suite 104  
CITY: Las Vegas STATE: NV ZIP CODE: 89146 REF CONTACT ID #   
TELEPHONE: 775.462.9919 CELL  EMAIL: dperry@phelpsengineering.net

### CORRESPONDENT INFORMATION (must match online record)

NAME: Land Development Associates, LLC  
ADDRESS: 7201 W Lake Mead Blvd, Ste 245  
CITY: Las Vegas STATE: NV ZIP CODE: 89128 REF CONTACT ID #   
TELEPHONE: 702.643.4940 CELL  EMAIL: dbrown@ldalv.com

\*Correspondent will receive all communication on submitted application(s).

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Property Owner (Signature)\*

Weston Adams  
Property Owner (Print)

09/26/24  
Date

### DEPARTMENT USE ONLY:

<input type="checkbox"/> AC	<input type="checkbox"/> AR	<input type="checkbox"/> ET	<input type="checkbox"/> PUDD	<input type="checkbox"/> SN	<input type="checkbox"/> UC	<input type="checkbox"/> WS
<input type="checkbox"/> ADR	<input type="checkbox"/> AV	<input type="checkbox"/> PA	<input type="checkbox"/> SC	<input type="checkbox"/> TC	<input type="checkbox"/> VS	<input type="checkbox"/> ZC
<input type="checkbox"/> AG	<input type="checkbox"/> DR	<input type="checkbox"/> PUD	<input type="checkbox"/> SDR	<input type="checkbox"/> TM	<input type="checkbox"/> WC	OTHER <u>MPC</u>

APPLICATION # (s)

ACCEPTED BY

PC MEETING DATE

DATE

BCC MEETING DATE

FEES

TAB/CAC LOCATION

DATE



## Department of Comprehensive Planning Application Form

ASSESSOR PARCEL #(s): 04201101005

PROPERTY ADDRESS/ CROSS STREETS: N/A

### DETAILED SUMMARY PROJECT DESCRIPTION

**Moapa West: Concept Specific Plan**

### PROPERTY OWNER INFORMATION

NAME: Moapa Valley Exit LLC

ADDRESS: 3275 So Jones Blvd Suite 104

CITY: Las Vegas

STATE: NV

ZIP CODE: 89146

TELEPHONE: \_\_\_\_\_ CELL 702-528-1100 EMAIL: randelsr@encorecre.com

### APPLICANT INFORMATION (must match online record)

NAME: Phelps Engineering Services, Inc.

ADDRESS: 3275 S Jones Blvd, Suite 104

CITY: Las Vegas

STATE: NV

ZIP CODE: 89146

REF CONTACT ID # \_\_\_\_\_

TELEPHONE: 775.462.9919 CELL \_\_\_\_\_ EMAIL: dperry@phelpsengineering.net

### CORRESPONDENT INFORMATION (must match online record)

NAME: Land Development Associates, LLC

ADDRESS: 7201 W Lake Mead Blvd, Ste 245

CITY: Las Vegas

STATE: NV

ZIP CODE: 89128

REF CONTACT ID # \_\_\_\_\_

TELEPHONE: 702.643.4940 CELL \_\_\_\_\_ EMAIL: dbrown@ldelv.com

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Digitally signed by:  
Randy W Aleman

Property Owner (Signature)\*

Randel W Aleman

Property Owner (Print)

9/25/2024

Date

#### DEPARTMENT USE ONLY:

<input type="checkbox"/> AC	<input type="checkbox"/> AR	<input type="checkbox"/> ET	<input type="checkbox"/> PUDD	<input type="checkbox"/> SN	<input type="checkbox"/> UC	<input type="checkbox"/> WS
<input type="checkbox"/> ADR	<input type="checkbox"/> AV	<input type="checkbox"/> PA	<input type="checkbox"/> SC	<input type="checkbox"/> TC	<input type="checkbox"/> VS	<input type="checkbox"/> ZC
<input type="checkbox"/> AG	<input type="checkbox"/> DR	<input type="checkbox"/> PUD	<input type="checkbox"/> SDR	<input type="checkbox"/> TM	<input type="checkbox"/> WC	OTHER <u>MPC</u>

APPLICATION # (s) \_\_\_\_\_

ACCEPTED BY \_\_\_\_\_

PC MEETING DATE \_\_\_\_\_

DATE \_\_\_\_\_

BCC MEETING DATE \_\_\_\_\_

FEES \_\_\_\_\_

TAB/CAC LOCATION \_\_\_\_\_

DATE \_\_\_\_\_





## Department of Comprehensive Planning Application Form

ASSESSOR PARCEL #(s): 03135801003, 04202501010,

PROPERTY ADDRESS/ CROSS STREETS: N/A

### DETAILED SUMMARY PROJECT DESCRIPTION

**Moapa West: Concept Specific Plan**

### PROPERTY OWNER INFORMATION

NAME: Solo Investments I LLC

ADDRESS: 4129 W Cheyenne Ave.

CITY: North Las Vegas

STATE: NV

ZIP CODE: 89032

TELEPHONE: 702.644.1117 CELL 702.416.0104 EMAIL: koesterling@wscilv.com

### APPLICANT INFORMATION (must match online record)

NAME: Phelps Engineering Services, Inc.

ADDRESS: 3275 S Jones Blvd, Suite 104

CITY: Las Vegas

STATE: NV

ZIP CODE: 89146

REF CONTACT ID # \_\_\_\_\_

TELEPHONE: 775.462.9919 CELL \_\_\_\_\_ EMAIL: dperry@phelpsenengineering.net

### CORRESPONDENT INFORMATION (must match online record)

NAME: Land Development Associates, LLC

ADDRESS: 7201 W Lake Mead Blvd, Ste 245

CITY: Las Vegas

STATE: NV

ZIP CODE: 89128

REF CONTACT ID # \_\_\_\_\_

TELEPHONE: 702.643.4940 CELL \_\_\_\_\_ EMAIL: dbrown@ldlv.com

\*Correspondent will receive all communication on submitted application(s).

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Property Owner (Signature)\*

Weston Adams  
Property Owner (Print)

09/26/24  
Date

### DEPARTMENT USE ONLY:

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OTHER MPC

APPLICATION # (s) \_\_\_\_\_

ACCEPTED BY \_\_\_\_\_

PC MEETING DATE \_\_\_\_\_

DATE \_\_\_\_\_

BCC MEETING DATE \_\_\_\_\_

FEES \_\_\_\_\_

TAB/CAC LOCATION \_\_\_\_\_

DATE \_\_\_\_\_



## Department of Comprehensive Planning Application Form

 ASSESSOR PARCEL #(s): 04205201001, 04212000007

 PROPERTY ADDRESS/ CROSS STREETS: N/A

### DETAILED SUMMARY PROJECT DESCRIPTION

**Moapa West: Concept Specific Plan**

### PROPERTY OWNER INFORMATION

 NAME: Rajarataka LLC

 ADDRESS: 3275 So Jones Blvd, Suite 104

 CITY: Las Vegas

 STATE: NV

 ZIP CODE: 89146

 TELEPHONE: \_\_\_\_\_ CELL 702-528-1100 EMAIL: randelsr@encorecre.com

### APPLICANT INFORMATION (must match online record)

 NAME: Phelps Engineering Services, Inc.

 ADDRESS: 3275 S Jones Blvd, Suite 104

 CITY: Las Vegas

 STATE: NV

 ZIP CODE: 89146

REF CONTACT ID # \_\_\_\_\_

 TELEPHONE: 775.462.9919 CELL \_\_\_\_\_ EMAIL: dperry@phelpsengineering.net

### CORRESPONDENT INFORMATION (must match online record)

 NAME: Land Development Associates, LLC

 ADDRESS: 7201 W Lake Mead Blvd, Ste 245

 CITY: Las Vegas

 STATE: NV

 ZIP CODE: 89128

REF CONTACT ID # \_\_\_\_\_

 TELEPHONE: 702.643.4940 CELL \_\_\_\_\_ EMAIL: dbrown@ldaly.com

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Docusign by:

Randy W Aleman

Property Owner (Signature)\*

Randel W Aleman

Property Owner (Print)

9/25/2024

Date

#### DEPARTMENT USE ONLY:

☐ AC

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 OTHER MPC

APPLICATION # (s) \_\_\_\_\_

ACCEPTED BY \_\_\_\_\_

PC MEETING DATE \_\_\_\_\_

DATE \_\_\_\_\_

BCC MEETING DATE \_\_\_\_\_

FEES \_\_\_\_\_

TAB/CAC LOCATION \_\_\_\_\_

DATE \_\_\_\_\_



## Department of Comprehensive Planning Application Form

ASSESSOR PARCEL #(s): 04202201004

PROPERTY ADDRESS/ CROSS STREETS: N/A

### DETAILED SUMMARY PROJECT DESCRIPTION

**Moapa West: Concept Specific Plan**

### PROPERTY OWNER INFORMATION

NAME: W S BETTER DACE L L C

ADDRESS: 4129 W Cheyenne Ave.

CITY: North Las Vegas

STATE: NV

ZIP CODE: 89032

TELEPHONE: 702.644.1117

CELL 702.416.0104

EMAIL: koesterling@wscilv.com

### APPLICANT INFORMATION (must match online record)

NAME: Phelps Engineering Services, Inc.

ADDRESS: 3275 S Jones Blvd, Suite 104

CITY: Las Vegas

STATE: NV

ZIP CODE: 89128

REF CONTACT ID # \_\_\_\_\_

TELEPHONE: 775.462.9919

CELL \_\_\_\_\_

EMAIL: dperry@phelpsenengineering.net

### CORRESPONDENT INFORMATION (must match online record)

NAME: Land Development Associates, LLC

ADDRESS: 7201 W Lake Mead Blvd, Ste 245

CITY: Las Vegas

STATE: NV

ZIP CODE: 89128

REF CONTACT ID # \_\_\_\_\_

TELEPHONE: 702.643.4940

CELL \_\_\_\_\_

EMAIL: dbrown@ldalv.com

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Property Owner (Signature)\*

Weston Adams

Property Owner (Print)

09/26/24

Date

### DEPARTMENT USE ONLY:

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OTHER MPC

APPLICATION # (s) \_\_\_\_\_

ACCEPTED BY \_\_\_\_\_

PC MEETING DATE \_\_\_\_\_

DATE \_\_\_\_\_

BCC MEETING DATE \_\_\_\_\_

FEES \_\_\_\_\_

TAB/CAC LOCATION \_\_\_\_\_

DATE \_\_\_\_\_





## Department of Comprehensive Planning Application Form

ASSESSOR PARCEL #(s): 04202201010, 04203301006, 04203301011, 04203801001, 04204000003, 04205401003,  
04205801001, 04205801004, 04205801006, 04206801002, 04208000002, 04208000004, 04209000001

PROPERTY ADDRESS/ CROSS STREETS: N/A

### DETAILED SUMMARY PROJECT DESCRIPTION

**Moapa West: Concept Specific Plan**

### PROPERTY OWNER INFORMATION

NAME: WS-HIDDEN VALLEY L L C  
ADDRESS: 4129 W Cheyenne Ave  
CITY: North Las Vegas STATE: NV ZIP CODE: 89032  
TELEPHONE: 702.644.1117 CELL 702.416.0104 EMAIL: koesterling@wscilv.com

### APPLICANT INFORMATION (must match online record)

NAME: Phelps Engineering Services, Inc.  
ADDRESS: 3275 S Jones Blvd, Suite 104  
CITY: Las Vegas STATE: NV ZIP CODE: 89146 REF CONTACT ID # \_\_\_\_\_  
TELEPHONE: 775.462.9919 CELL \_\_\_\_\_ EMAIL: dperry@phelpsengineering.net

### CORRESPONDENT INFORMATION (must match online record)

NAME: Land Development Associates, LLC  
ADDRESS: 7201 W Lake Mead Blvd, Ste 245  
CITY: Las Vegas STATE: NV ZIP CODE: 89128 REF CONTACT ID # \_\_\_\_\_  
TELEPHONE: 702.643.4940 CELL \_\_\_\_\_ EMAIL: dbrown@ldalv.com

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\_\_\_\_\_  
Property Owner (Signature)\*

Weston Adams  
\_\_\_\_\_  
Property Owner (Print)

09/26/24  
\_\_\_\_\_  
Date

### DEPARTMENT USE ONLY:

<input type="checkbox"/> AC	<input type="checkbox"/> AR	<input type="checkbox"/> ET	<input type="checkbox"/> PUDD	<input type="checkbox"/> SN	<input type="checkbox"/> UC	<input type="checkbox"/> WS
<input type="checkbox"/> ADR	<input type="checkbox"/> AV	<input type="checkbox"/> PA	<input type="checkbox"/> SC	<input type="checkbox"/> TC	<input type="checkbox"/> VS	<input type="checkbox"/> ZC
<input type="checkbox"/> AG	<input type="checkbox"/> DR	<input type="checkbox"/> PUD	<input type="checkbox"/> SDR	<input type="checkbox"/> TM	<input type="checkbox"/> WC	OTHER <u>MPC</u>

APPLICATION # (s) \_\_\_\_\_  
PC MEETING DATE \_\_\_\_\_  
BCC MEETING DATE \_\_\_\_\_  
TAB/CAC LOCATION \_\_\_\_\_

DATE \_\_\_\_\_

ACCEPTED BY \_\_\_\_\_  
DATE \_\_\_\_\_  
FEES \_\_\_\_\_



## Department of Comprehensive Planning Application Form

ASSESSOR PARCEL #(s): 04203301004, 04210000001, 04210000004

PROPERTY ADDRESS/ CROSS STREETS: N/A

### DETAILED SUMMARY PROJECT DESCRIPTION

**Moapa West: Concept Specific Plan**

### PROPERTY OWNER INFORMATION

NAME: W S New Montana LLC  
ADDRESS: 4129 W Cheyenne Ave.  
CITY: North Las Vegas STATE: NV ZIP CODE: 89032  
TELEPHONE: 702.644.1117 CELL 702.416.0104 EMAIL: koesterling@wscilv.com

### APPLICANT INFORMATION (must match online record)

NAME: Phelps Engineering Services, Inc.  
ADDRESS: 3275 S Jones Blvd, Suite 104  
CITY: Las Vegas STATE: NV ZIP CODE: 89128 REF CONTACT ID #   
TELEPHONE: 775.462.9919 CELL  EMAIL: dperry@phelpsengineering.net

### CORRESPONDENT INFORMATION (must match online record)

NAME: Land Development Associates, LLC  
ADDRESS: 7201 W Lake Mead Blvd, Ste 245  
CITY: Las Vegas STATE: NV ZIP CODE: 89128 REF CONTACT ID #   
TELEPHONE: 702.643.4940 CELL  EMAIL: dbrown@ldalv.com

\*Correspondent will receive all communication on submitted application(s).

(I, We) the undersigned swear and say that (I am, We are) the owner(s) of record on the Tax Rolls of the property involved in this application, or (am, are) otherwise qualified to initiate this application under Clark County Code; that the information on the attached legal description, all plans, and drawings attached hereto, and all the statements and answers contained herein are in all respects true and correct to the best of my knowledge and belief, and the undersigned and understands that this application must be complete and accurate before a hearing can be conducted. (I, We) also authorize the Clark County Comprehensive Planning Department, or its designee, to enter the premises and to install any required signs on said property for the purpose of advising the public of the proposed application.

Property Owner (Signature)\*

Weston Adams

Property Owner (Print)

09/26/24  
Date

### DEPARTMENT USE ONLY:

<input type="checkbox"/> AC	<input type="checkbox"/> AR	<input type="checkbox"/> ET	<input type="checkbox"/> PUDD	<input type="checkbox"/> SN	<input type="checkbox"/> UC	<input type="checkbox"/> WS
<input type="checkbox"/> ADR	<input type="checkbox"/> AV	<input type="checkbox"/> PA	<input type="checkbox"/> SC	<input type="checkbox"/> TC	<input type="checkbox"/> VS	<input type="checkbox"/> ZC
<input type="checkbox"/> AG	<input type="checkbox"/> DR	<input type="checkbox"/> PUD	<input type="checkbox"/> SDR	<input type="checkbox"/> TM	<input type="checkbox"/> WC	OTHER <u>MPC</u>

APPLICATION # (s)

PC MEETING DATE

BCC MEETING DATE

TAB/CAC LOCATION

ACCEPTED BY

DATE

FEES

DATE



## Department of Comprehensive Planning Application Form

ASSESSOR PARCEL #(s): 04206601001

PROPERTY ADDRESS/ CROSS STREETS: N/A

### DETAILED SUMMARY PROJECT DESCRIPTION

Moapa West: Concept Specific Plan

### PROPERTY OWNER INFORMATION

NAME: W S Moapa 80 LLC

ADDRESS: 4129 W Cheyenne Ave.

CITY: North Las Vegas

STATE: NV

ZIP CODE: 89032

TELEPHONE: 702.644.1117

CELL 702.416.0104

EMAIL: koesterling@wscilv.com

### APPLICANT INFORMATION (must match online record)

NAME: Phelps Engineering Services, Inc.

ADDRESS: 3275 S Jones Blvd, Suite 104

CITY: Las Vegas

STATE: NV

ZIP CODE: 89146

REF CONTACT ID #

TELEPHONE: 775.462.9919

CELL

EMAIL: dperry@phelpsengineering.net

### CORRESPONDENT INFORMATION (must match online record)

NAME: Land Development Associates, LLC

ADDRESS: 7201 W Lake Mead Blvd, Ste 245

CITY: Las Vegas

STATE: NV

ZIP CODE: 89128

REF CONTACT ID #

TELEPHONE: 702.643.4940

CELL

EMAIL: dbrown@ldalv.com

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Property Owner (Signature)\*

Weston Adams

Property Owner (Print)

09/26/24

Date

### DEPARTMENT USE ONLY:

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OTHER

MPC

APPLICATION # (s)

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PC MEETING DATE

DATE

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FEES

TAB/CAC LOCATION

DATE





## Department of Comprehensive Planning Application Form

ASSESSOR PARCEL #(s): 04202501011, 04202601001, 04202601002

PROPERTY ADDRESS/ CROSS STREETS: N/A

### DETAILED SUMMARY PROJECT DESCRIPTION

Moapa West: Concept Specific Plan

### PROPERTY OWNER INFORMATION

NAME: WTC LLC  
ADDRESS: 4129 W Cheyenne Ave.  
CITY: North Las Vegas STATE: NV ZIP CODE: 89032  
TELEPHONE: 702.644.1117 CELL 702.416.0104 EMAIL: koesterling@wscilv.com

### APPLICANT INFORMATION (must match online record)

NAME: Phelps Engineering Services, Inc.  
ADDRESS: 3275 S Jones Blvd, Suite 104  
CITY: Las Vegas STATE: NV ZIP CODE: 89146 REF CONTACT ID #  
TELEPHONE: 775.462.9919 CELL EMAIL: dperry@phelpsenengineering.net

### CORRESPONDENT INFORMATION (must match online record)

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ADDRESS: 7201 W Lake Mead Blvd, Ste 245  
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Property Owner (Signature)\*

Weston Adams  
Property Owner (Print)

09/26/24  
Date

### DEPARTMENT USE ONLY:

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APPLICATION # (s)

ACCEPTED BY

PC MEETING DATE

DATE

BCC MEETING DATE

FEES

TAB/CAC LOCATION

DATE



**MOAPA TOWN ADVISORY BOARD**  
**ZONING / SUBDIVISIONS / LAND USE**  
**AGENDA ITEM**

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**Applicant:** Devin Perry, Phelps Engineering Services, Inc.

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**Recommendation:** MPC-25-0332: Discuss a proposed approximately 2,000-acre Concept Plan, known as Moapa West, located within the town of Moapa, consisting of various industrial, commercial, and residential elements.

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**FISCAL IMPACT:**

None by this action.

**BACKGROUND:**

On April 23, 2025, the applicant submitted an approximately 2,000 acre Concept Plan known as Moapa West. The proposed project will consist of 8 planning areas/villages that will focus on a variety of residential, commercial, and industrial uses with varying intensities, which are primarily clustered around the intersection of Interstate 15 and State Highway 168, the area between the Reid Gardner Power Plant and the Union Pacific Railroad along Hidden Valley Road, and at the northern reaches of Henrie Road. The project is planned to be completed in three phases.

Per Title 30 requirements, Concept Plans must complete a draft phase where comments from various stakeholders and agencies are received for possible incorporation into the proposed project. As a part of this draft phase, the applicant must present their draft Concept Plan to the appropriate town advisory board, or citizens advisory council, within 30 days of submittal for discussion and to solicit comments and suggestions only, and is not for recommendation or adoption of the Concept Plan. The applicant will then prepare a Final Concept Plan, which will follow the public hearing process, including the mailing of public hearing notices, and be heard again by the Town Advisory Board, as well as the Planning Commission and Board of County Commissioners for final recommendations and adoption.

Staff recommends the Moapa Town Advisory Board discuss the proposed Concept Plan to identify and provide comments on issues of concern to Clark County, affected property owners, stakeholders, and the applicant.







## AGENDA LOG AMENDMENT

Department of Comprehensive Planning

Application Number: MPC-25-0332

Property Owner or Subdivision Name: Choo Choo Express, LLC et al.

Public Hearing: Yes ☐ No ☒

Staff Report already created: Yes ☐ No ☒

Delete this application from the: TAB/CAC ☐ PC ☐ BCC ☐

Add this application to the: TAB/CAC ☐ PC ☐ BCC 10/22/25

### Change(s) to be made:

- ☐ Held no date specific  
☐ Withdrawn  
☒ No change to meeting(s) 5/13 Moapa TAB  
☐ Amend Write-up  
☐ Renotify  
☐ Make a public hearing (Radius:                     )  
☐ Rescheduling  
☐ Other:                       
☐ Additional fees – \$AMOUNT OF ADDITIONAL FEES:                       
☐ Refund  
☐ 80%  
☐ 100% (please include justification for full refund below)  
AMOUNT OF REFUND\$:

Reason for Change: Date to be added to create staff report

Change initiated by: hw Date: 4/24/25  
Change authorized by: [Signature] Date: 4/24/25  
Change processed by: [Signature] Date: 04/24/2025  
Distribution e-mail sent by: [Signature] Date: 04/24/2025  
Follow up assigned to: [Signature] Instructions:                     

Parcel Number(s): 031-15-000-002 & 76 others

Town Board(s): Moapa

Verified by:                      Date:                     

Rev. 08/2024

